3225 MAIN STREET

SWEET HOME, OREGON 97386

GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
- 2. DIMENSIONS TAKE PRECEDENCE OVER DRAWING: DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.
- 3. ALL DIMENSIONS ON PLANS ARE FROM FACE OF STUD OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
- 4. ALL CONSTRUCTION SHALL COMPLY WITH THE 2014 OREGON STRUCTURAL SPECIALTY CODE AND ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES.
- 5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS. INCONSISTENCIES OR OMISSIONS HE MAY DISCOVER. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERROR AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE APPROVED BY THE ARCHITECT.
- 6. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.
- 7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.
- B. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKMEN. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.
- 11. ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES AND ALL AREAS SHALL BE LEFT IN A BROOM CLEAN CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
- 13. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION UNTIL ALL FINAL LATERAL AND VERTICAL LOAD CARRYING SYSTEMS ARE COMPLETED.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR, WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT, U.N.O. IN THIS CONTRACT.
- 15. ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT NEC, UMC, UPC RESPECTIVELY.
- 16. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC.
- 17. CAULK SHALL BE USED TO SEAL ALL JOINTS OF MILLWORK, TRIM, EQUIPMENT MOUNTING, WALL PENETRATIONS AND FLASHINGS TO PRODUCE A WATERTIGHT
- 18. THE SITE AND BUILDINGS ARE DESIGNED TO COMPLY WITH ADA-ADAGG CODES.

GENERAL SCOPE ITEMS

BIDDER-DESIGN H.V.A.C.

ALL EXISTING H.V.A.C. SYSTEMS, EQUIPMENT AND COMPONENTS TO REPLACED INCLUDING, BUT NOT LIMITED TO MECHANICAL UNITS, DISTRIBUTION AND RETURN SYSTEMS (DUCTING), FINISH GRILLES AND TRIMS, AND CONTROLS.

SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

BIDDER-DESIGN

ALL EXISTING PLUMBING FIXTURES, COMPONENTS AND PIPING WITHIN THE BUILDING FOOTPRINT TO BE REPLACED WITH NEW. FIXTURES TO MEET STATE OF OREGON AND ADA ACCESSIBILITY GUIDELINES. ASSURE (E) EXTERIOR AND/OR SITE COMPONENTS SUCH AS HOSE BIBS, ARE PROPERLY CONNECTED AND FUNCTIONING.

SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

ELECTRICAL BIDDER-DESIGN

EXISTING ELECTRICAL SERVICE AND METER TO REMAIN; ALL OTHER BUILDING COMPONENTS, WIRING AND DEVICES TO BE REPLACED; INCLUDING BUILDING-MOUNTED EXTERIOR FIXTURES.

UPON AWARD OF CONTRACT, BIDDER-DESIGNER MAY PROVIDE A PROPOSAL FOR OWNER CONSIDERATION, TO RE-USE SELECT ELECTRICAL COMPONENTS AND DEVICES.

LIGHTING CONTROLS TO BE MOTION-ACTIVATED WHERE APPROPRIATE. SWITCHING AND CIRCUITING TO BE DESIGNED FOR BLDG. CODE COMPLIANCE AND EASE-OF-USE. SCHEMATIC TO BE APPROVED BY OWNER AS MEETING INTENDED OFFICE FUNCTION.

SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

TELEPHONE AND DATA

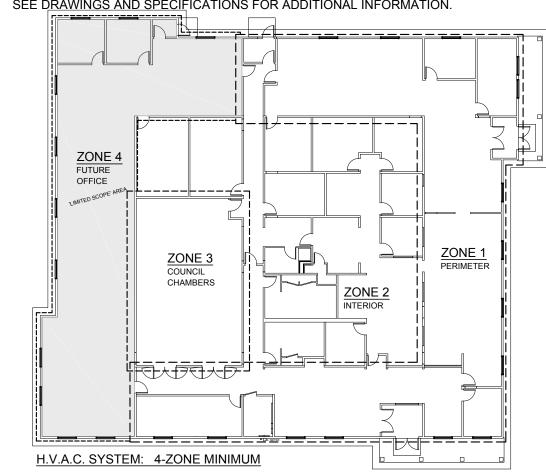
WHILE TELEPHONE AND DATA SYSTEMS ARE OWNER PROVIDED AND OWNER INSTALLED, THE GENERAL CONTRACTOR SHALL COORDINATE AND PROVIDE RACEWAYS AND PULL STRINGS THROUGH ALL NON-ACCESSIBLE CONSTRUCTION (WALLS AND NON-ACCESSIBLE CEILING SPACES) AND PROVIDE BOXES AS REQUIRED.

SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

SECURITY

WHILE BUILDING SECURITY SYSTEM IS OWNER PROVIDED AND OWNER INSTALLED, THE GENERAL CONTRACTOR SHALL COORDINATE AND PROVIDE RACEWAYS AND PULL STRINGS THROUGH ALL NON-ACCESSIBLE CONSTRUCTION (WALLS AND NON-ACCESSIBLE CEILING SPACES) AND PROVIDE BOXES AS REQUIRED.

SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.



OWNER-PROVIDED ITEMS

THE FOLLOWING ITEMS REPRESENT 'OWNER-PROVIDED' SYSTEMS AND SHOULD ALSO BE CONSIDERED 'OWNER-INSTALLED' UNLESS NOTED OTHERWISE.

- THE GENERAL CONTRACTOR SCOPE OF WORK ON THESE ITEMS IS GENERALLY LIMITED TO: REVIEWING OWNER-PROVIDED PRODUCT AND INSTALLATION DATA PROVIDING ANY/ALL CONCEALED BACKING AND BLOCKING REQUIRED
- COORDINATING ANY/ALL ASSOCIATED SERVICES AND UTILITIES (ADDITIONAL INFORMATION MAY BE PROVIDED IN THE SCOPE OF WORK FOR OTHER DISCIPLINES WITHIN THIS DRAWING SET)
- SCHEDULING AND COORDINATION OF DELIVERY AND INSTALLATION DETAILS WITH THE OWNERS REPRESENTATIVE

- BREAK ROOM APPLIANCES MONUMENT SIGN, BUILDING SIGN, ADDRESS SIGN, ADA PARKING SIGNAGE
- TELEPHONE SYSTEM, TELEPHONES AND PHONE SYSTEM HARDWARE
- 6. DATA SYSTEM, RACKING AND WIRING
- BUILDING SECURITY SYSTEM, DEVICES AND WIRING 8. TV'S AND MOUNTING BRACKETS (CONTRACTOR-INSTALLED BLOCKING TYPICAL)

A1.1 SITE PLAN A2.1 FLOOR PLAN A2.2 ROOF PLAN

ISSUE DATE

A2.3 REFLECTED CEILING PLAN A2.4 FINISH PLAN

PROJECT INDEX

DRAWING REVISION

REVISION NUMBER

G0.1 PROJECT DATA / INDEX

AD0.1 DEMOLITION PLAN

G1.1 BUILDING CODE SUMMARY

ISSUED FOR REVIEW / COORDINATION

DRAWING REVISION (ISSUED VIA 8-1/2 x 11)

DRAWING ISSUED FOR PERMIT / BID

A3.1 EXTERIOR ELEVATIONS

A7.1 DETAILS

A8.1 INTERIOR ELEVATIONS

A8.2 INTERIOR ELEVATIONS

A10.1 SCHEDULES

S1.0 STUCTURAL NOTES & SPECIAL INSPECTION

S2.1 FLOOR FRAMING PLAN

S2.2 ROOF FRAMING PLAN S4.1 STRUCTURAL DETAILS

BIDDER-DESIGN ITEMS

THE FOLLOWING ITEMS ARE INCLUDED IN THE SCOPE OF WORK FOR THIS PERMIT APPLICATION, BUT THE DESIGN RESPONSIBILITY IS OUTSIDE THE SCOPE OF WORK OF THE ARCHITECT OF RECORD.

DESIGN, ENGINEERING AND PERMITTING FOR THE FOLLOWING ITEMS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR (PROFESSIONAL ENGINEERING WERE REQUIRED)

CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING

- ROUTE (4) COPIES OF BIDDER DESIGNED SYSTEMS DOCUMENTS TO THE ARCHITECT
- PER IBC SECTION 106.3.4.2 UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT
- AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES. IN ADDITION TO THE SYSTEMS BELOW, SEE INDIVIDUAL DISCIPLINES FOR BIDDER-DESIGN "COMPONENTS"; REPRESENTING SPECIFIC ELEMENTS WITHIN A "SYSTEM" FOR WHICH THE CONTRACTOR AND/OR PROVIDER BEAR DESIGN
- GENERAL CONTRACTOR SHALL COORDINATE BIDDER-DESIGNS TO ASSURE COMPATBILITY BETWEEN TRADES (EXAMPLE: ELECTRICAL DESIGNER TO COORDINATE WITH H.V.A.C. DESIGNER TO ASSURE POWER WILL BE PROVIDED FOR ENERGIZED COMPONANTS.)

- H.V.A.C. SYSTEM, COMPONANTS AND CONTROLS PLUMBING SYSTEM, COMPONANTS AND CONTROLS
- ELECTRICAL SYSTEM, COMPONANTS AND CONTROLS
- FIRE ALARM SYSTEM AS REQUIRED BY BUILDING CODE NATURAL GAS SERVICE TO BLDG. AND EXTENSION TO (N) MECHANICAL EQUIPMENT.

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CITY OF SWEET HOME TEL: 541 367-8969 EMAIL: rtowry@ci.sweet-home.or.us SWEET HOME, OR 97386 ATTN: Ray Towry

ARCHITECT SCOTT | EDWARDS ARCHITECTURE, LLP TEL: 503 226-3617 EMAIL: andrew@seallp.com PORTLAND, OR 97214 ATTN: Andrew Kraus

PROJECT DIRECTORY

TEL: 503 203-8111 6443 SW BEAVERTON HILLSDALE HWY. SUITE 210 EMAIL: dale@wdvi.com PORTLAND, OR 97221 ATTN: Dale Diloreto

PROJECT SUMMARY

THE CITY OF SWEET HOME, OREGON HAS RECENTLY ACQUIRED THIS PROPERTY AND BUILDING -FORMERLY OCCUPIED BY THE U.S. FORESTRY SERVICE. WITH RARE EXCEPTION, THE SCOPE OF THIS PROJECT FOCUSSES ON THE BUILDING INTERIOR.

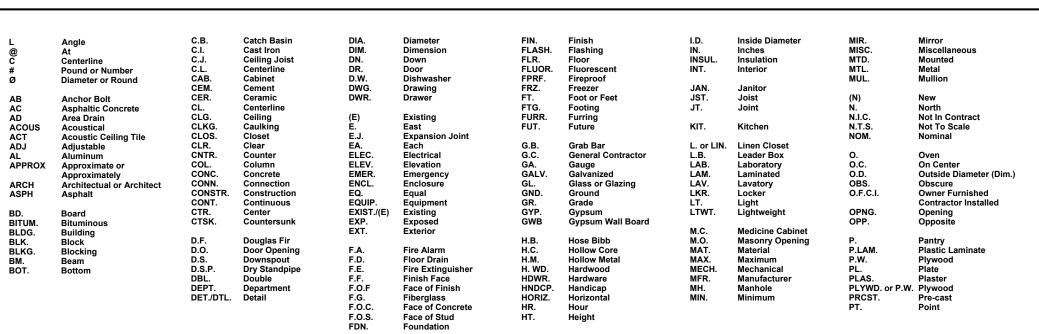
AT SOME TIME IN THE RECENT PAST, THE BUILDING INTERIOR HAS EXPERIENCED WATER DAMAGE. IN ITS CURRENT STATE, APPROXIMATELY 40% OF EXISTING GYPSUM WALLBOARD AND BUILDING INSULATION HAVE BEEN REMOVED, ALONG WITH A SIGNIFICANT AMOUNT OF SUSPENDED CEILINGS. SIMILARLY, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS HAVE BEEN PARTIALLY REMOVED. POTENTIAL BIDDERS ARE STRONGLY ENCOURAGED TO REVIEW EXISTING CONDITIONS.

THE NEW SCOPE OF WORK, AS DEFINED IN THESE DOCUMENTS, IS INTENDED TO RESULT IN A FULLY REMODELED (WITH ONE EXCEPTION), MOVE-IN READY FACILITY, COMPLYING WITH ALL APPLICABLE BUILDING AND ACCESSIBILITY CODE REQUIREMENTS.

THE EXCEPTION TO 'FULLY REMODELED', IS IDENTIFIED IN THE DOCUMENTS AS A 'LIMITED SCOPE' AREA, WHICH IS TO BE DEVELOPED TO A "VANILLA SHELL" FOR FUTURE TENANT DEVELOPMENT; HEREBY DEFINED AS: INSULATED, TAPED WALLS, READY TO PAINT. ELECTRICAL OUTLETS, BUT NO CEILING OR LIGHTING. HVAC SYSTEM, NOT INCLUDING DUCT WORK AND FINISH GRILLES.

BUILDING UTILITY SERVICES ARE CURRENTLY CONNECTED AND FUNCTIONAL, INCLUDING SANITARY, WATER AND POWER. NATURAL GAS IS TO BE EXTENDED TO THE BUILDING WITHIN THIS SCOPE OF THIS WORK, TO FUEL NEW MECHANICAL EQUIPMENT. DESIGN FOR, AND EXTENSION AND DISTRIBUTION OF THESE SERVICES THROUGHOUT THE BUILDING ARE TO BE COMPLETED AS 'BIDDER-DESIGN' ELEMENTS, BASED ON THE DESIGN INTENT INDICATED BY THESE DOCUMENTS.

ABBREVIATIONS



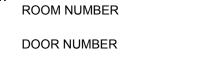
DEFERRED SUBMITTAL ITEMS

THE FOLLOWING ITEMS ARE INCLUDED IN THE SCOPE OF WORK FOR THIS PROJECT, BUT ARE 'DEFERRED' FROM REVIEW FOR THIS PERMIT APPLICATION.

1. ALL ITEMS LISTED UNDER 'BIDDER-DESIGN'

GRAPHIC SYMBOLS

HM FRAME TYPE



GRIDLINE BUBBLE **ELEVATION MARKER**

KEYNOTE

SEE BUILDING ASSEMBLY SCHEDULE ON A0.1 FINISH TAG -

SEE FINISH SCHEDULE

REVISION NUMBER

MARKER **DETAIL MARKER**

BUILDING SECTION

INTERIOR ELEVATION

EXTERIOR ELEVATION

16158

SCOTT EDWARDS ARCHITECTURE LLP 2525 E. Burnside St., Portland, OR 97214 phone:(503) 226-3617 www.seallp.com

SWEET HOME CITY HALL

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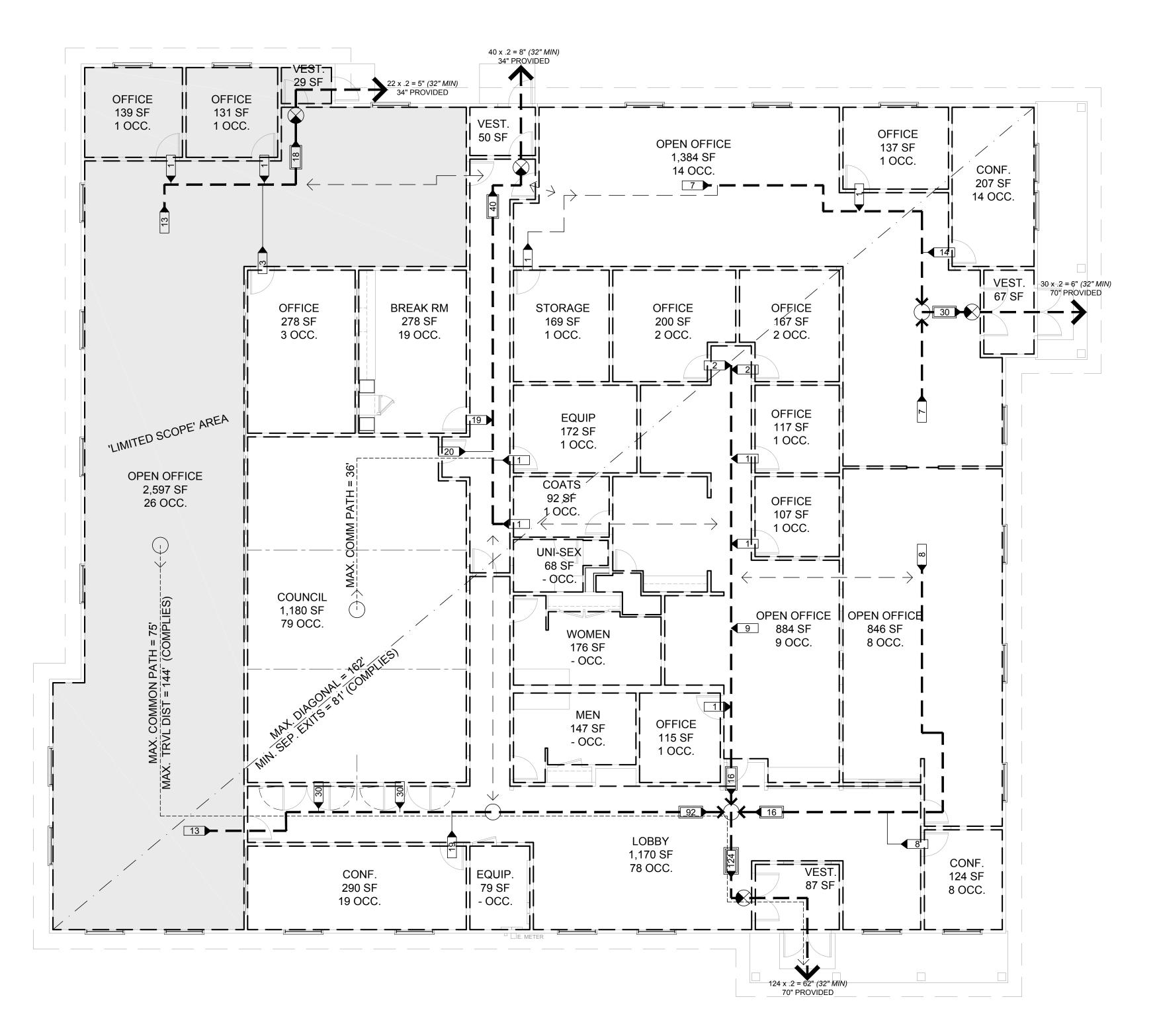
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PROJECT DATA

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Sweet Home City Hall - Code Review Project Number: 16158 7/30/2018 Applicable Codes: 2014 Oregon Structural Specialty Code 2014 Oregon Energy Efficiency Specialty Code 2014 Oregon Plumbing Specialty Code 2014 Oregon Electrical Specialty Code 2014 Oregon Mechanical Specialty Code 2014 Oregon Fire Code 2009 ICC/ANSI A117.1 Chapter 3 - Use and Occupancy Classification Occupancy: A-3 Council B Office **Chapter 5 - General Building Heights and Areas** Proposed Building Area - First Floor xisting Building Area - First Floor | 12,612 SF New Building Area - First Floor Total Building and Exterior Covered 12,612 SF Type VB Occupancy Type VB 1 Story 2 Stories 16'-0" Proposed Number of Stories 1 Story Proposed Height in Feet Section 506 Building Area Modifications occupancy Types: A-3, B. Const Type: V-B. Sprinklered: Yes. Multiple Occupancies: Accessory Occupancies B Occupancy (Non-Separated) = At + [At x If] + [At x Is] | If = [468' / 468' - 0.25] 30' / 30 Aa = $9,000 \text{ SF} + [9,000 \text{ SF} \times 0.75] + [9,000 \text{ SF} \times 0]$ If = 0.75 Proposed Building Area At = 6,000 SF Occupancy A-3 OK = Proposed Area ≤ Allowable Area = 11,432 SF ≤ 15,750 SF At = 9,000 SF A-3 (Accessory Occupancies) Total Building Area - First Floor 12,612 SF Allowable Accessory Area (10%) 1.261 SF Proposed A-3 Accessory Area Total Proposed Accessory Area **OK** = Proposed Area ≤ Allowable Area = 1,180 SF ≤ 1,261 SF 508.2.4 Separation of Occupancies - No separation is required between accessory occupancies and the main occupancy. **Chapter 6 - Types of Construction** Table 602 - Fire-Resistance Rating Requirements For Exterior Table 601 - Fire-Resistance Rating Requirements for Building Elements Walls Based on Fire Separation Distance **Building Element** Type V-B Rating Fire Separation Type of Primary Structural Frame Distance = x Construction Bearing Walls 1 HR 1 HR Exterior Type V-B 0 HR 0 HR .0 ' ≤ X < 30' Non-Bearing Interior Walls 0 HR loor Construction 0 HR oof Construction 0 HR **Chapter 8 - Interior Finishes** 803.1.1 Interior Wall and Ceiling Finish Materials Table 803.9 - Interior Wall and Ceiling Finish Requirements by Occupancy Flame Spread Index | Smoke-Developed Index Interior Exit Stairways, | Corridors & Enclosure for | Rooms & 0 - 450 Spaces 26 - 75 0 - 450 Passageways Ramps 76 - 200 0 - 450 Chapter 10 - Means of Egress 1004.1 - Design Occupant Load Occupancy 1ST FLOOR 211 OCC 290 OCC 1005.3 Required Capacity Based on Occupant Load .3 inch X Occ Load .2 inch X Occ Load 1006.1 Illumination Required - The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied. **1006.2 Illumination Level** - The means of egress ilumination level shall not be less than 1 footcandle at the walking surface. Table 1014.3 - Common Path of Egress Travel Without Sprinkler System (feet) Occupant Load ≤ 30 OCC > 30 OCC Table 1015.1 - Spaces with One Exit or Exit Access Doorway: Maximum Occupant Load: Occupancy A, B, F: 49 Occupants Table 1016.2 - Exit Access Travel Distance: Occupancy A, B: 200 feet 1018.4 - Dead Ends - Where more than one exit or exit access doorway is required, the exit access shall be arranged such that there are no dead ends in corridors more than 20 feet in length. Chapter 29 - Plumbing Systems Table 2902.1 - Minimum Number of Required Plumbing Fixtures Occupancy Female Male Female Fountains 1 per 65 1 per 200 1 per floo A-3 40 OCC 0.62 WC 0.20 Lav 0.20 Lav 0.32 WC 1 per 40 for the first 80 1 per 25 for the first 50, and 1 per 50 for and 1 per 80 for the 106 the remainder exceeding 50 remainder exceeding 80 3.12 WC 2.33 Lav 2.33 Lav 4 WC 3 Lav 3 Lav 0 Bath / Shwr 1 DF Total Required 1 WC 2 Urinal llowable Number of Urinals*

PROPOSED NUMBER OF PLUMBING FIXTURES

* Urinals may replace water closets at a ratio of 1 urinal per 2/3 water closets. Unisex Shower Room used in female fixture count.

2 WC 1 Urinal 4 WC 3 Lav 3 Lav 0 Bath / Shwr 2 DF

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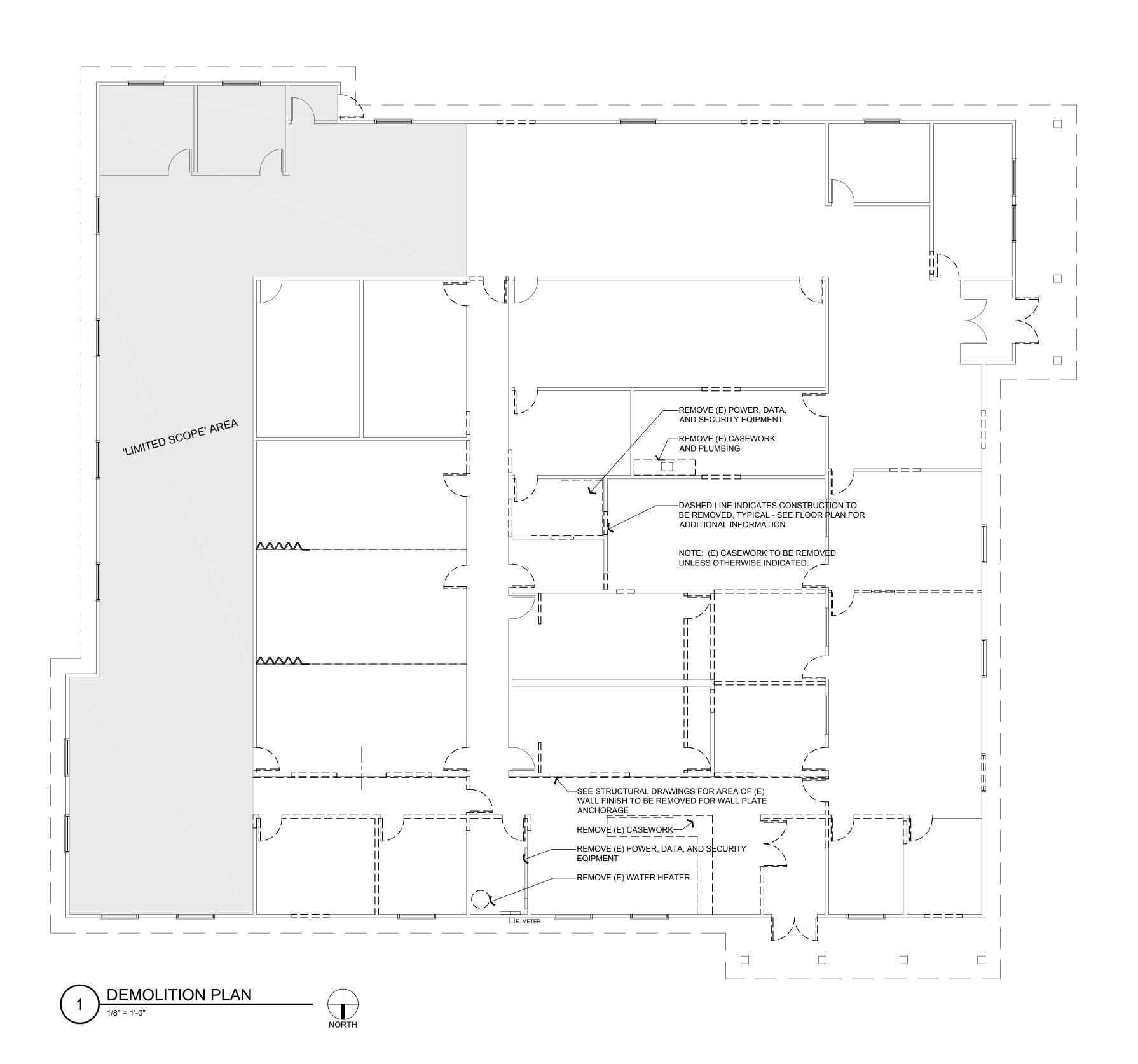
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DEMOLITION PLAN

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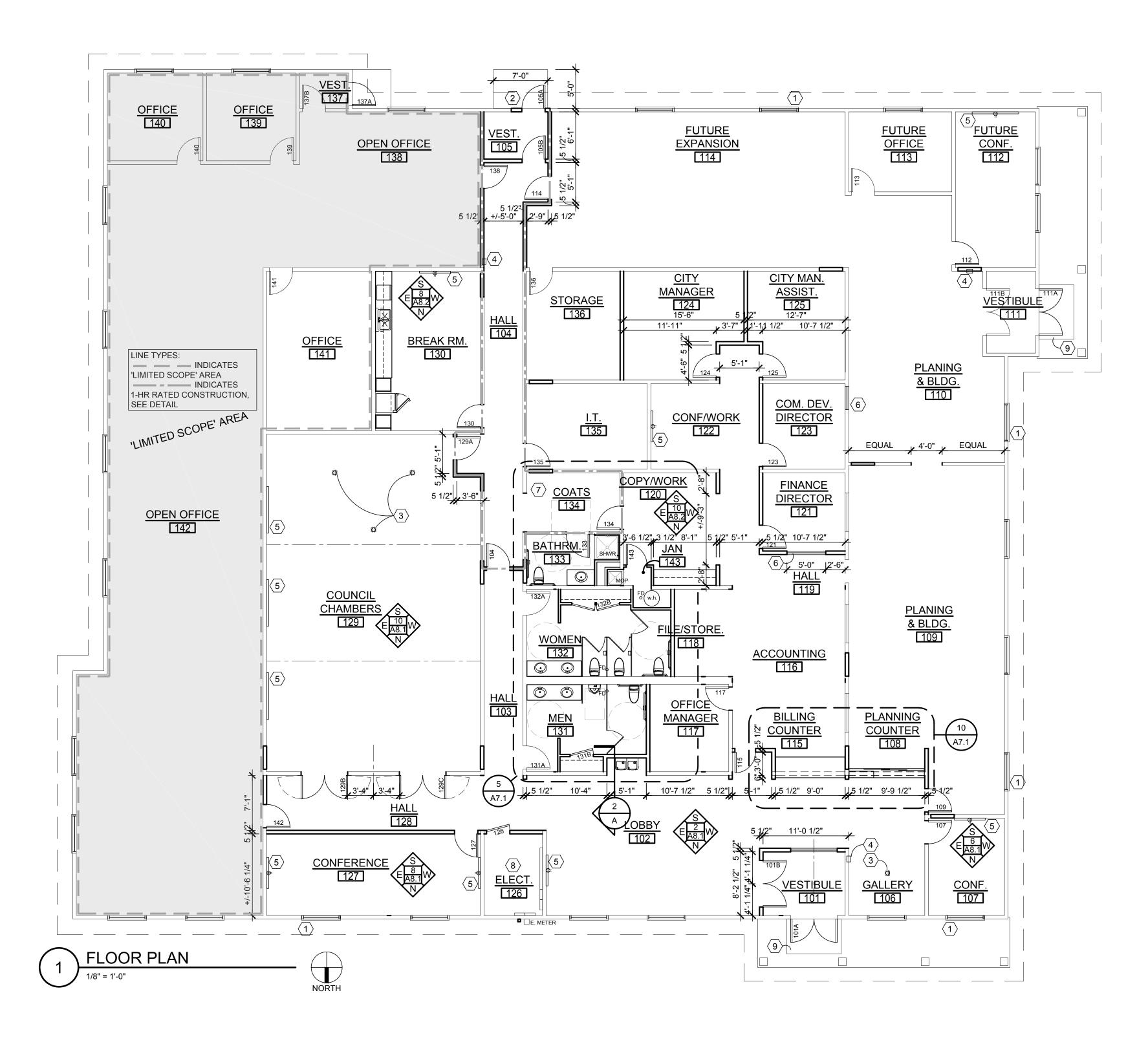
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GENERAL NOTES:

- 1. TYPICAL INTERIOR WALL CONSTRUCTION TO CONSIST OF 5/8" TYPE "X" GWB ON EA. SIDE OF STUDS AT 16" O.C. W/ ACOUSTICAL BATT INSULATION, UNLESS OTHERWISE INDICATED. PROVIDE MOISTURE-RESISTANT GWB AT ALL PLUMBING WALLS AND WET LOCATIONS. SUBSTITUTE TILE BACKER-BOARD AT TILE LOCATIONS. EXTEND FRAMING AND INSULATION TO STRUCTURE ABOVE. EXTEND GWB 6" MINIMUM ABOVE A.C.T. OR AS REQ. FOR SUPPORT OF INSULATION.
- 2. PATCH AND REPAIR GWB AS REQUIRED BY EXISTING CONDITIONS AND/OR NEW WORK. UPON COMPLETION, ALL GWB SHALL BE FULLY FINISHED, PRIMED AND PAINTED UNLESS OTHERWISE INDICATED.
- 3. EXISTING ROOF AND CRAWL SPACE ARE ASSUMED TO BE FULLY INSULATED. MAINTAIN AND/OR OR REPLACE INSULATION AND/OR VAPOR BARRIER AS WARRENTED BY NEW WORK.
- 4. CONTRACTOR TO VERIFY CONDITION OF EXISTING FLOOR STRUCTURE AND SUBSTRATE PRIOR TO INSTALLING NEW FLOOR FINISHES. SEE SPECIFICATION FOR STANDARD PREP. REQUIREMENTS.
- 5. PROVIDE AND INSTALL NEW WINDOW BLINDS AT ALL WINDOWS AND INTERIOR RELITES. (PRIVATE OFFICE SIDE)

⊗ KEYNOTES:

- 1. REPLACE (E) WINDOW W/ (N) OPERABLE WINDOW; TEMPERED GLASS PER BLDG. CODE REQUIREMENTS.
- REPLACE (E) WINDOW W/ (N) EXTERIOR DOOR, CONC. STOOP AND CANOPY ABOVE. PROVIDE ACCESSIBLE PATH TO (E) SIDEWALK.
- 3. PROVIDE NEW FLOOR-TYPE ELECTRICAL AND DATA OUTLET.
- 4. FIRE EXTINGUISHER VERIFY LOCATION WITH FIRE OFFICIAL PRIOR TO INSTALLATION.
- 5. WALL-MOUNT T.V. LOCATION PROVIDE SOLID-BLOCKING, POWER AND PATHWAY FOR DATA CONNECTION. T.V. AND MOUNTING HARDWARE BY OWNER.
- 6. RELITE LOCATION SAFETY GLAZING IN WOOD JAMBS TO MATCH EXISTING RELITES.
- 7. COAT ROD AND SHELF.
- 8. ELECTRICAL ROOM LAYOUT TO BE DETERMINED BY BIDDER-DESIGN ELECTRICAL DESIGNER.
- 9. REPLACE (E) WALK-OFF MAT SEE FINISH PLAN





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Drawing: FLOOR PLAN

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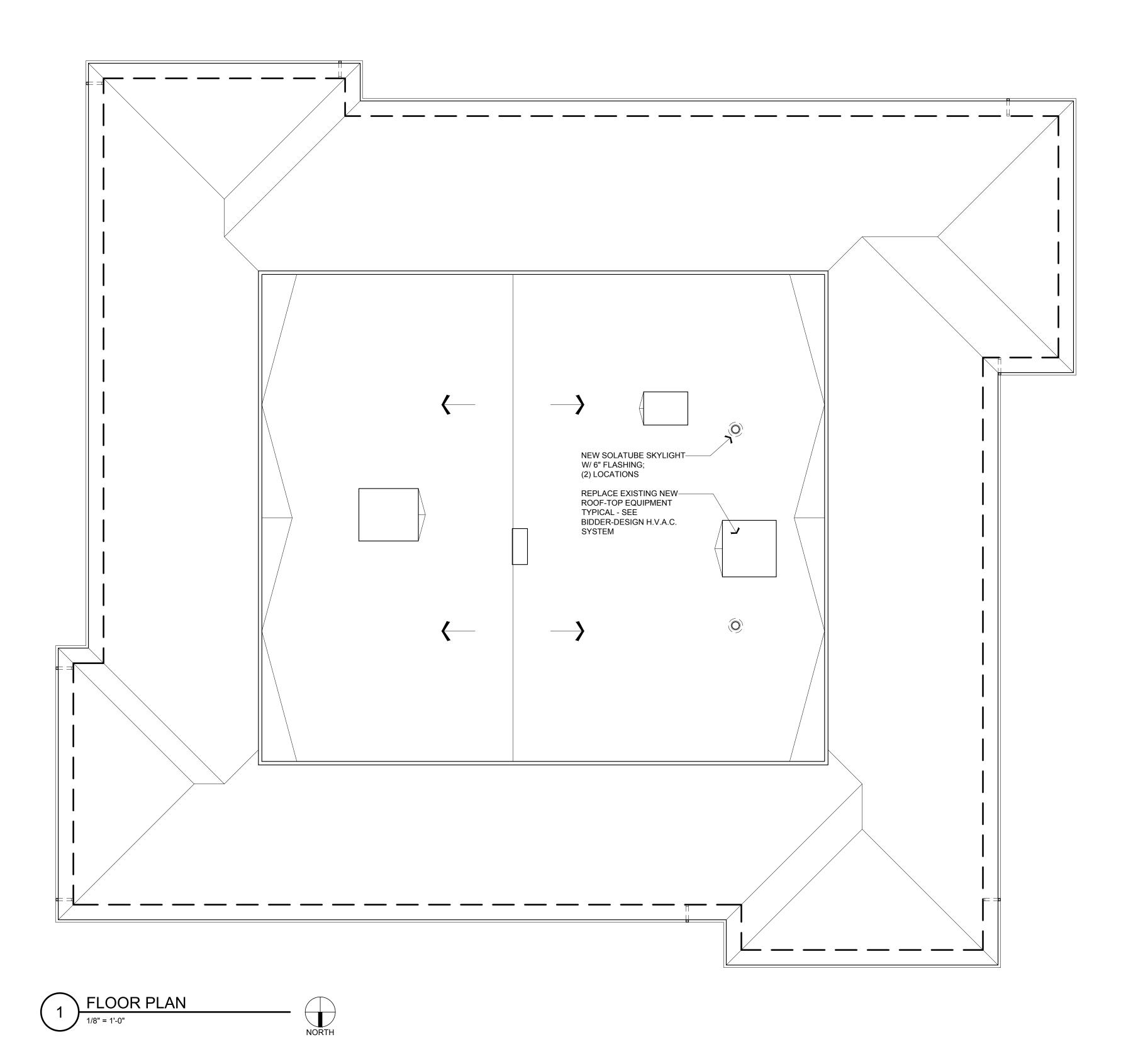
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GENERAL NOTES - ROOF

- NEW SCOPE OF WORK IS GENERALLY LIMITED TO MODIFICATIONS REQUIRED BY NEW BIDDER-DESIGN MECHANICAL EQUIPMENT AND NEW SOLATUBE SKYLIGHTS.
- 2. CONTRACTOR SHALL REVIEW EXISTING ROOF CONDITIONS AND PROVIDE A CONDITION SUMMARY TO THE OWNER PRIOR TO BEGINNING WORK.
- 3. REUSE OF EXISTING ROOF CURBS IS ENCOURAGED WHEN POSSIBLE.
- 4. NEW ROOF OPENINGS AND/OR FRAMING MODIFICATIONS WILL BE ALLOWED, UPON REVIEW AND ACCEPTANCE OF OWNER.
- ANY/ALL LOADS EXCEEDING EXISTING CONDITIONS AND/OR ANY/ALL MODIFICATIONS OF EXISTING BUILDING STRUCTURE SHALL BE BIDDER-DESIGN, WITH ENGINEERING AS REQUIRED.
- 6. UPON COMPLETION OF WORK, ROOF SHALL BE LEFT CLEAN AND DEBRIS-FREE.





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ROOF PLAN

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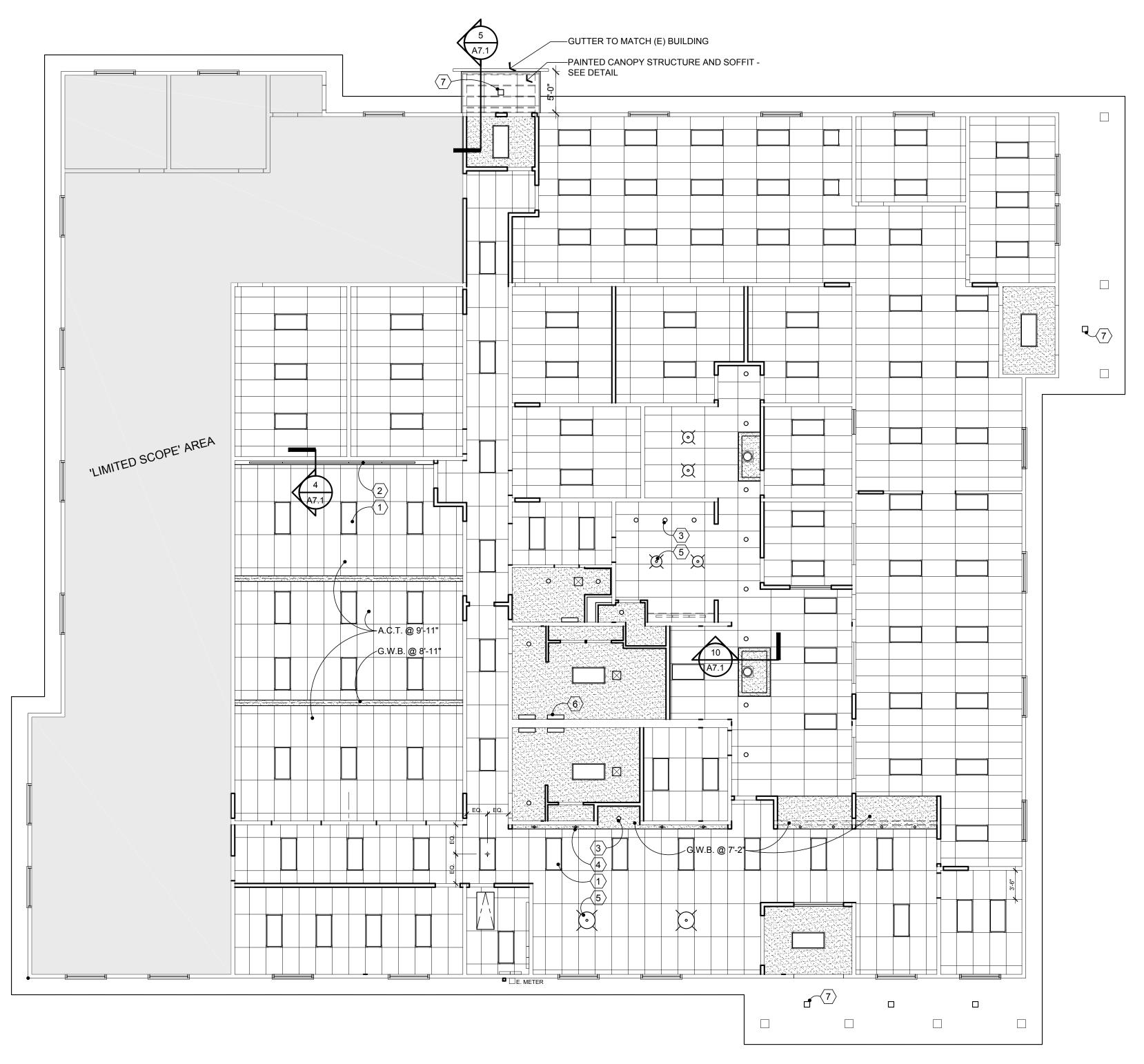
GENERAL NOTES - REF. CLNG.

- 1. NEW SCOPE OF WORK PROVIDES NEW SUSPENDED ACOUSTICAL CEILING TILE (A.C.T.) AND NEW GWB CEILING FINISHES WHERE INDICATED.
- CEILING TILE LAYOUT AND LIGHTING LAYOUT IS SCHEMATIC AND MAY BE MODIFIED BASED ON BIDDER-DESIGN LIGHTING LAYOUT.
- 3. CEILING DIFFUSERS WILL BE ADDED TO LAYOUT, BASED ON BIDDER-DESIGN H.V.A.C. DESIGN. LIGHTING DESIGN WILL GENERALY TAKE PRIORITY OVER DIFFUSER LAYOUT.
- 4. CEILING HEIGHTS TO BE AT 8'-0" ABOVE FINISH FLOOR (A.F.F.) UNLESS OTHERWISE INDICATED.
- 5. SEE SPECIFICATION FOR ADDITIONAL INFORMATION, INCLUDING A.C.T. AND LIGHT FIXTURE SEISMIC RESTRAINT.
- 6. DIMENSIONS, WHERE INDICATED, ARE INTENDED TO LOCATE A.C.T. GRID FOR LAYOUT INDICATED.

① KEY NOTES - FIXTURE TYPES

FIXTURE TYPES ARE TYPICAL; SIMILAR SYMBOL = SIMILAR FIXTURE TYPE

- 1. 2X4 LAY-IN: SIM. TO FLUXWERX, TRANSOM SERIES
- 2. SLIM-LINE, LINEAR WALL-WASH FIXTURE FOR COVE INSTALLATION
- 3. RECESSED CAN LIGHT
- 4. RECESSED WALL-WASH CAN LIGHT
- 5. CEILING MOUNT DECORATIVE PENDANT: SIM. TO VISA LIGHTING, MODEL #CM2000, BRONZE MATTE FINISH
- 6. WALL-MOUNT VANITY LIGHT: SIM. TO TECH LIGHTING, SAGE 13 WALL/BATH,
- 7. EXTERIOR DOWN-LIGHT, STYLE SIMILAR TO EXISTING







SWEET HOME CITY HALL

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CEILING PLAN

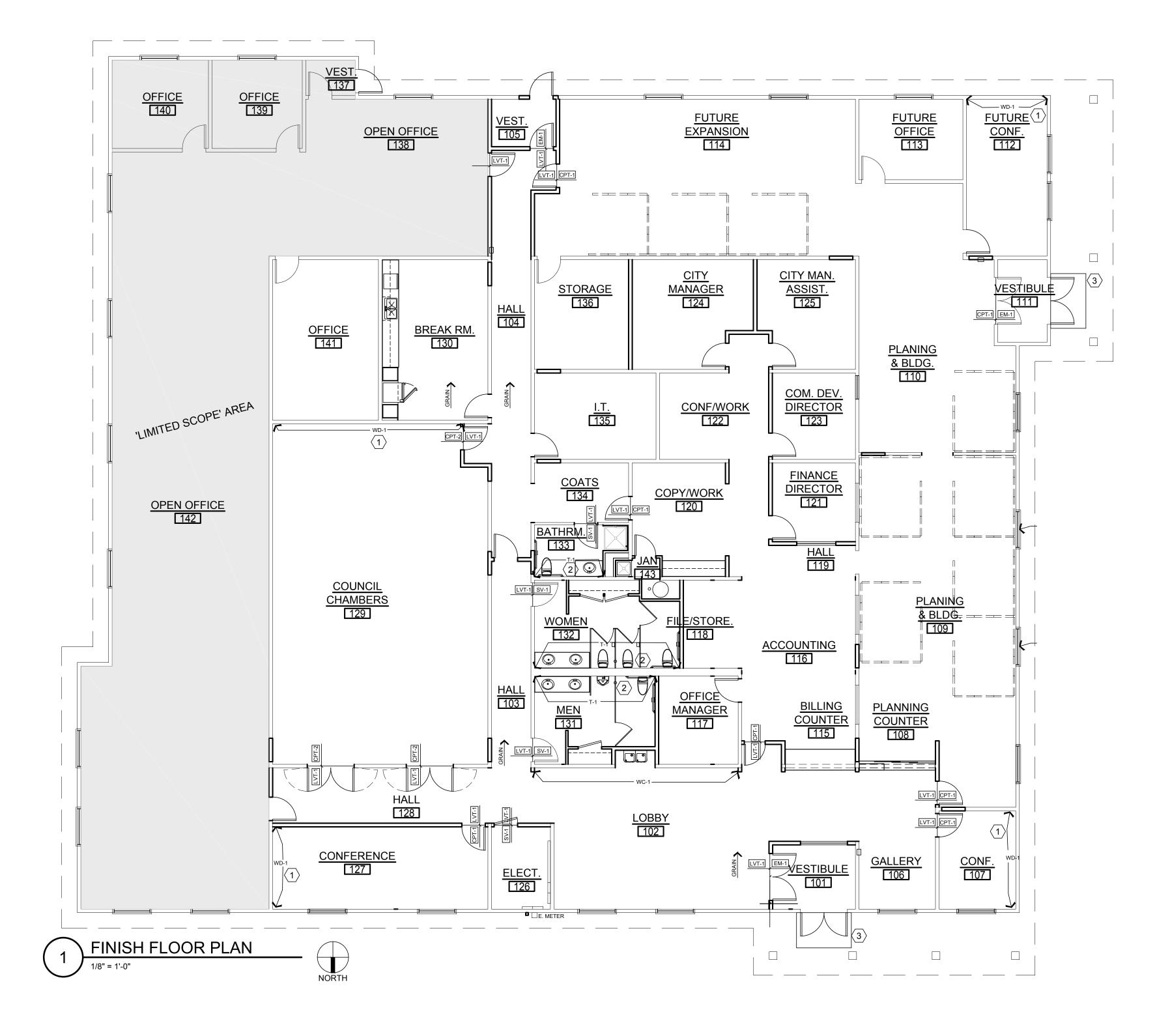
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GENERAL NOTES	KEYNOTES:		
 PT-1 ON ALL INTERIOR WALLS U.N.O. PT-2 ON ALL GYB CEILINGS U.N.O. WHERE WALL TILE OCCURS, TO BE FULL HEIGHT. NO RUBBER BASE WHERE FULL HEIGHT TILE OCCURS. NO RUBBER BASE WHERE WOOD CLADDED WALLS OCCURS. 6" SHEET VINYL COVE BASE AT RESTROOMS. PROVIDE POWER AND BLOCKING FOR TV LOCATIONS. REFER TO SPECS FOR ADDITIONAL FINISH INFORMATION. 	SYMBOL (WD-1) FULL HEIGHT WOOD CLADDING AT WALL (T-1) FULL HEIGHT TILE AT WALL REPLACE (E) EXTERIOR, RECESSED, WALK-OFF ENTRY MAT WITH NEW. (SIM. TO (E))		



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FINISH FLOOR PLAN

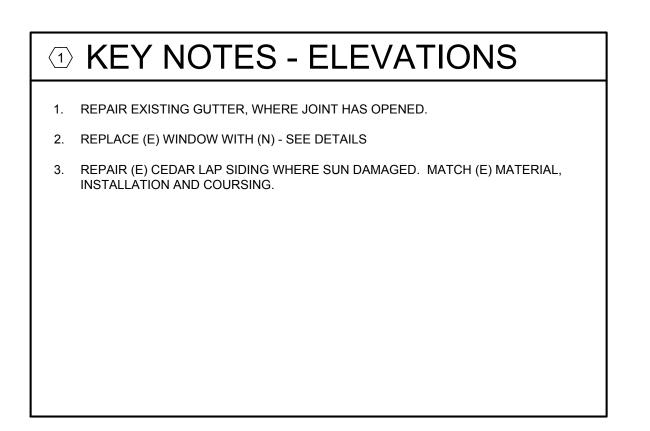
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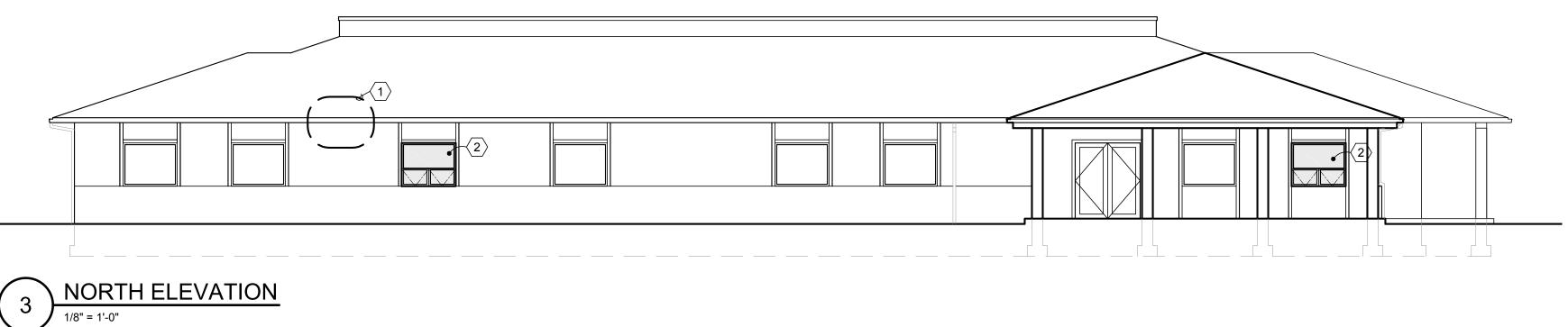
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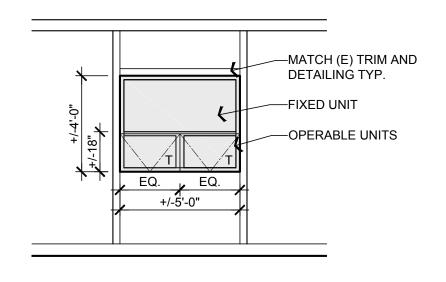
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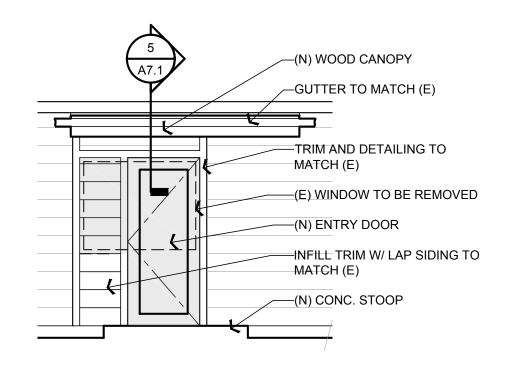




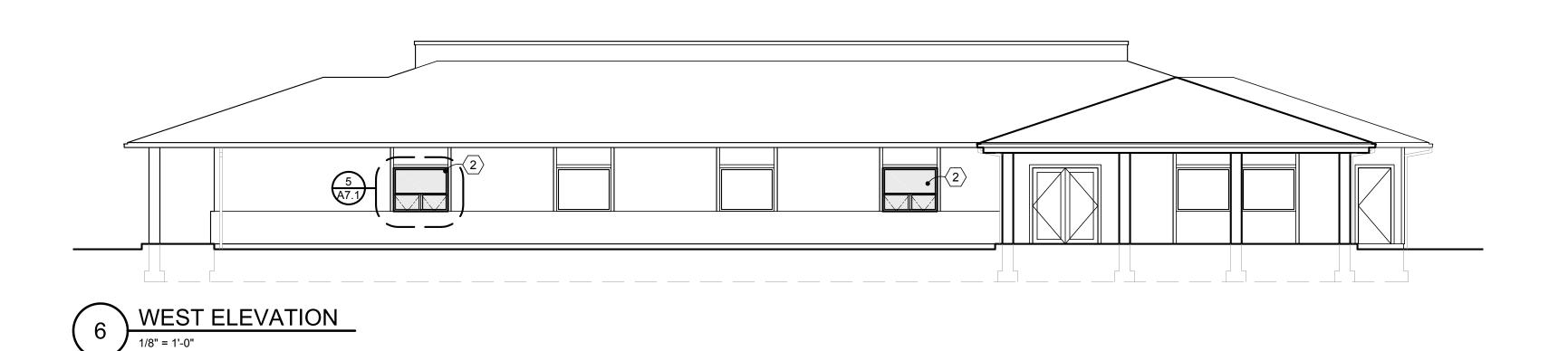
3225 MAIN STREET SWEET HOME, OREGON 97386

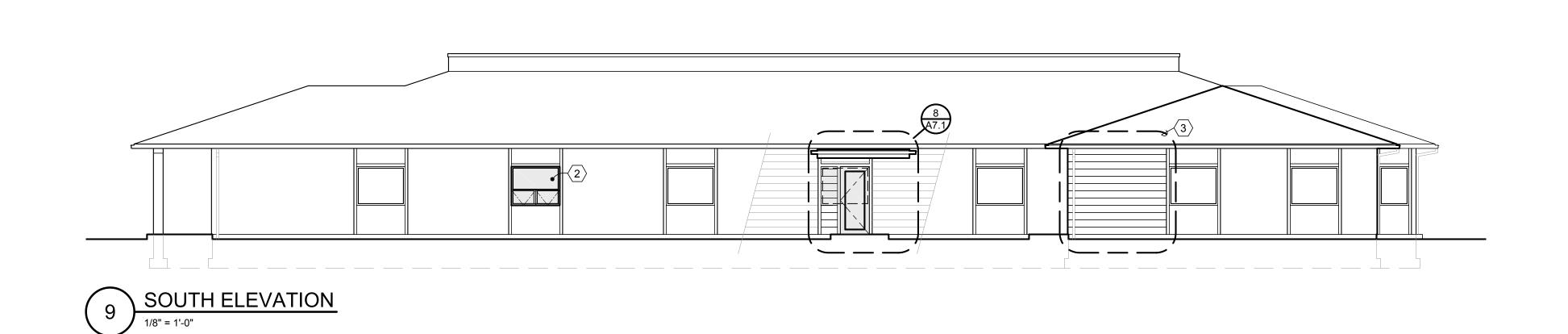


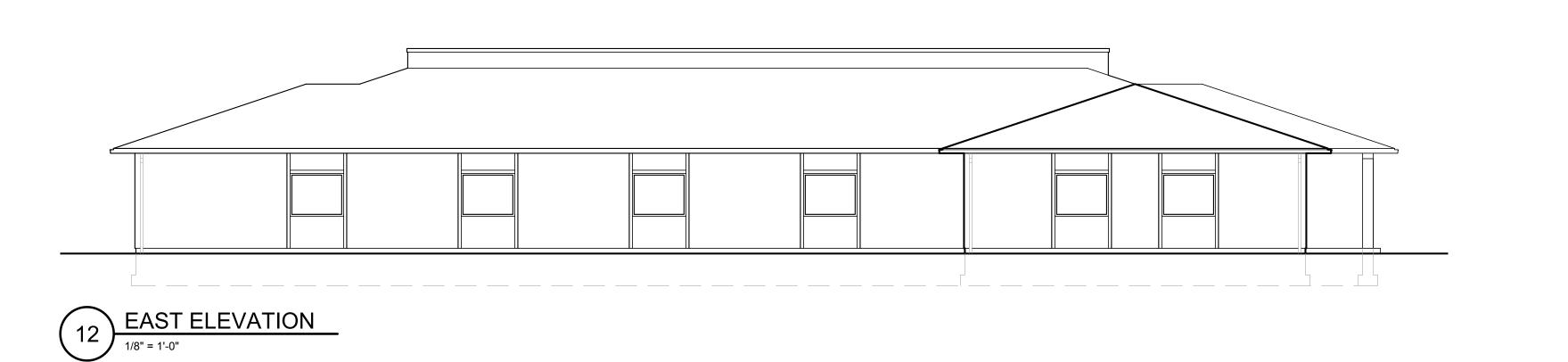












Drawing:

EXTERIOR

ELEVATIONS

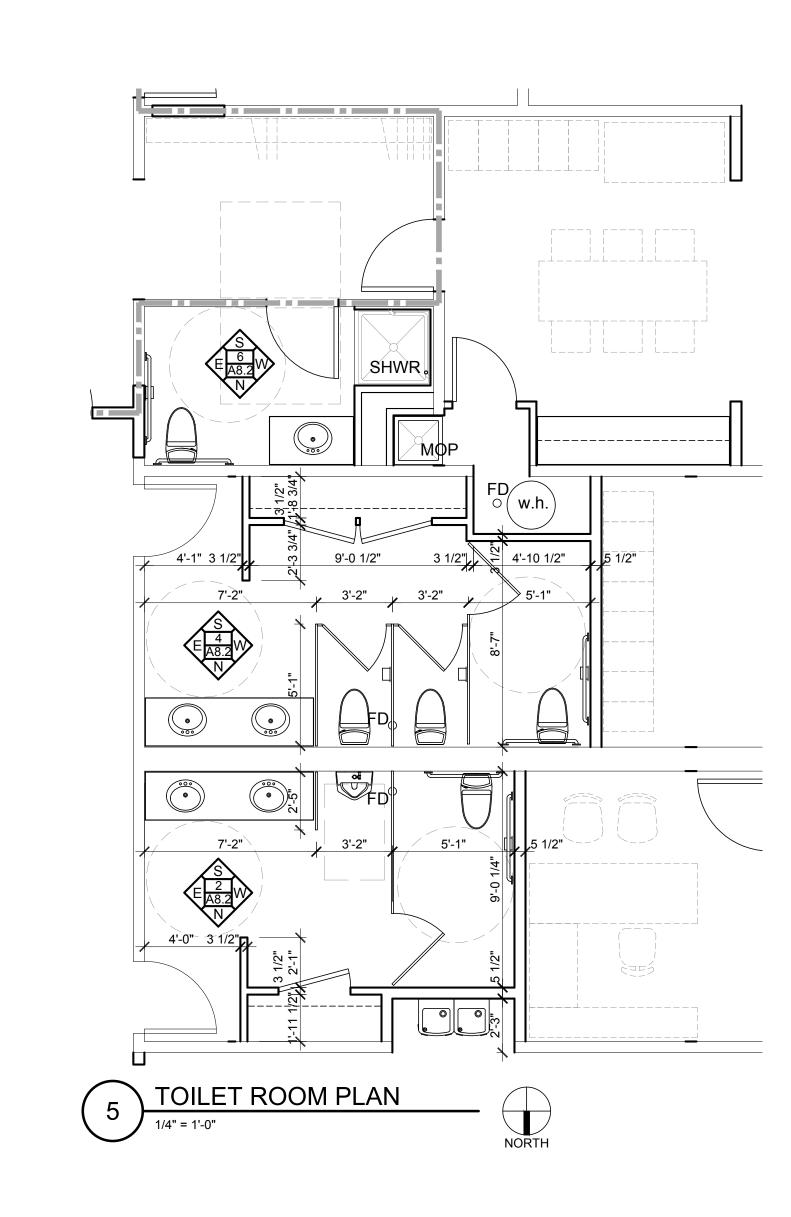
Job No: 16158

Date: JULY 27, 2018

Drawn By:

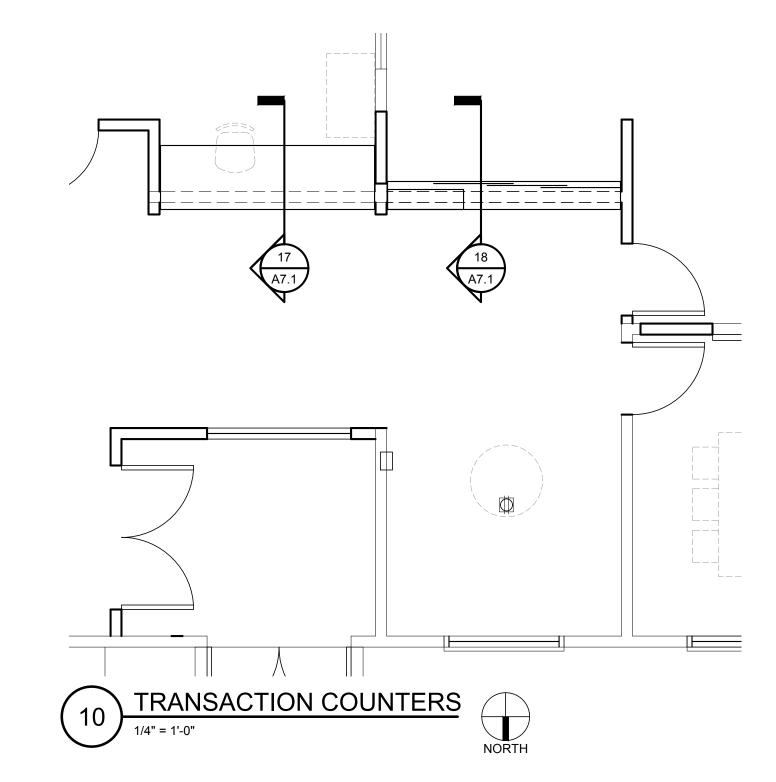
Checked By:

Sheet No:





3225 MAIN STREET SWEET HOME, OREGON 97386



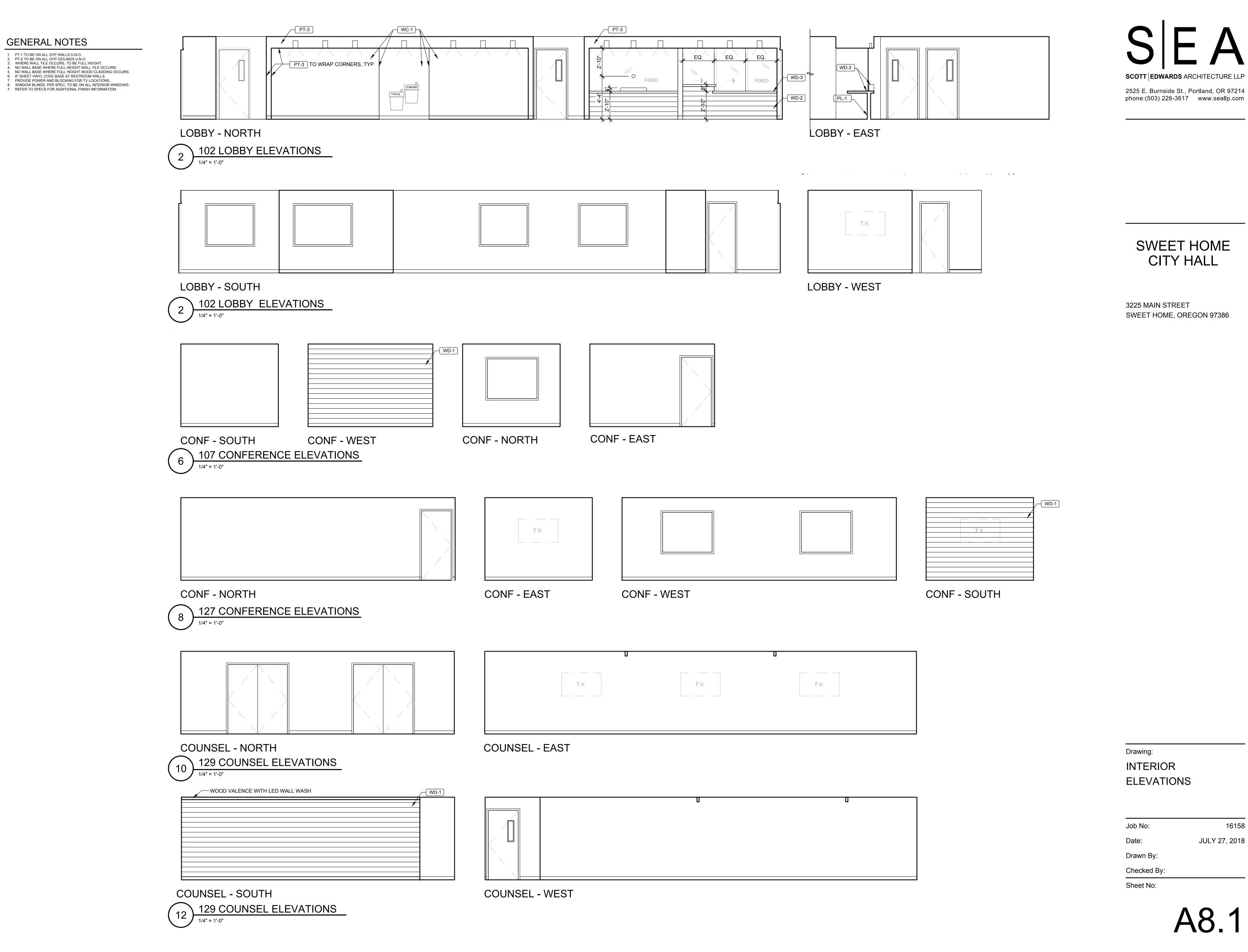
Drawing: ENLARGED PLANS

Job No: 16158

Date: JULY 27, 2018

Drawn By:
Checked By:
Sheet No:

A6.1



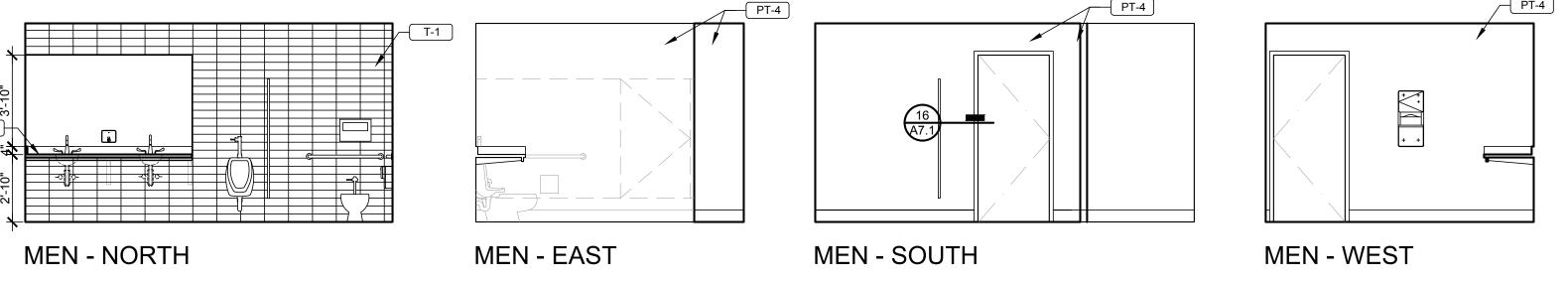
16158

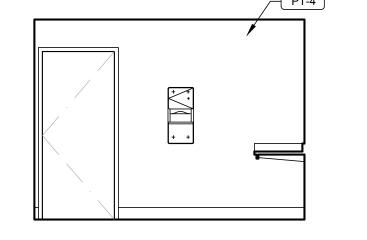
JULY 27, 2018

TOILET ACCESSORY SCHEDULE							
CODE	DESC.	MNF	MODEL#	FINISH	DIMENSIONS		
GB-1	GRAB BARS	BOBRICK	B-5806 (18", 36", 42")	STAINLESS	REFER TO DRAWINGS		
PTD-1	PAPER TOWEL DISP. / WASTE RECEPTACLE	BOBRICK	B-43699	STAINLESS	13" W X 28" H X 2.5" D		
SC-1	SHOWER CURTAIN	BOBRICK	204-3	VINYL - WHITE	70" W X 72" H		
SCH-1	SHOWER CURTAIN HOOK	BOBRICK	204-1	STAINLESS	1" W X 2.5" H		
SCR-1	SHOWER CURTAIN ROD	BOBRICK	B-207	POLISHED	ADJUSTABLE 36" - 72"		
SCD-1	SEAT COVER DISPENSER	BOBRICK	B-221	STAINLESS	16" W X 11" H X 2" D		
SD-1	SOAP DISPENSER - WALL	BOBRICK	818615	STAINLESS	7" W X 6" H X 2.5" D		
SND-1	SANITARY NAPKIN DISPOSAL	BOBRICK	B-270	STAINLESS	7.5" W X 10" H X 14" D		
TPD-1	TOILET PAPER DISPENSER	BOBRICK	B-2888	STAINLESS	6" W X 11" H X 6" D		

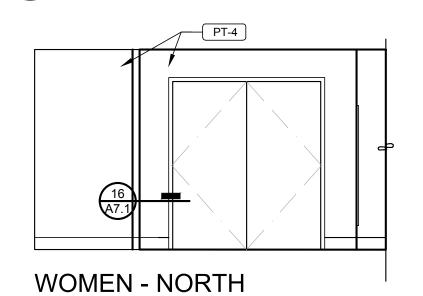
GENERAL NOTES

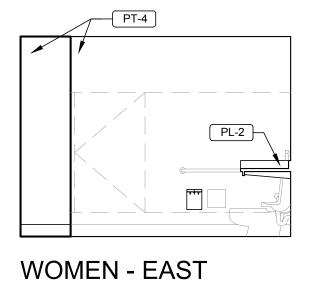
- 1. PT-1 TO BE ON ALL GYP WALLS U.N.O.
 2. PT-2 TO BE ON ALL GYP CEILINGS U.N.O.
 3. WHERE WALL TILE OCCURS, TO BE FULL HEIGHT.
 4. NO WALL BASE WHERE FULL HEIGHT WALL TILE OCCURS.
 5. NO WALL BASE WHERE FULL HEIGHT WOOD CLADDING OCCURS.
 6. 6" SHEET VINYL COVE BASE AT RESTROOM WALLS.
 7. PROVIDE POWER AND BLOCKING FOR TV LOCATIONS.
 8. WINDOW BLINDS, PER SPEC, TO BE ON ALL INTERIOR WINDOWS.
 7. REFER TO SPECS FOR ADDITIONAL FINISH INFORMATION.

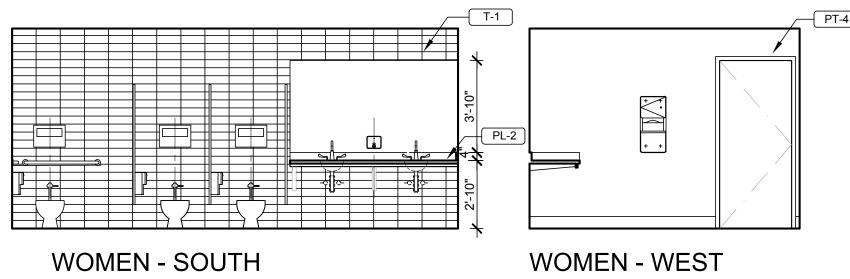




131 MEN'S ROOM ELEVATIONS 1/4" = 1'-0"

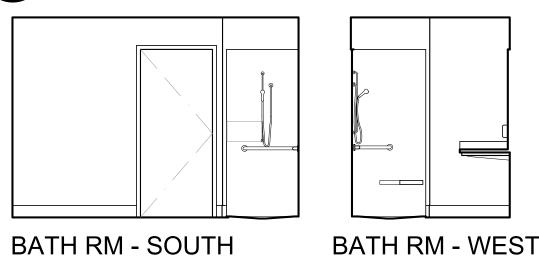


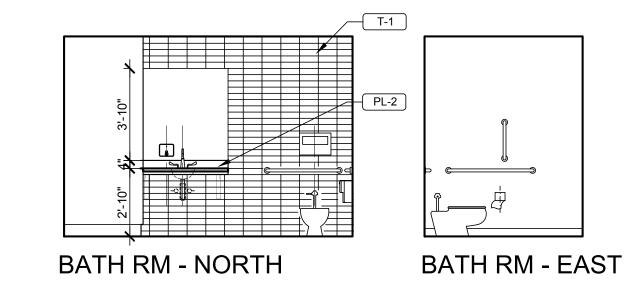




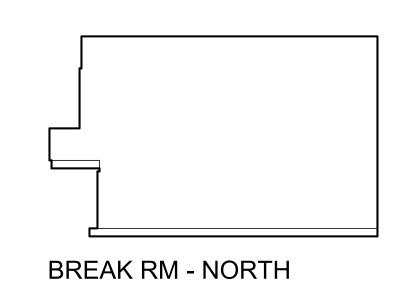


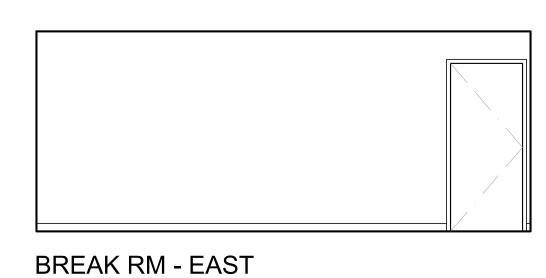


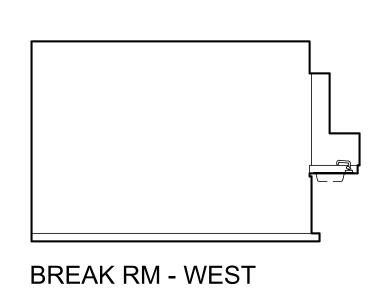


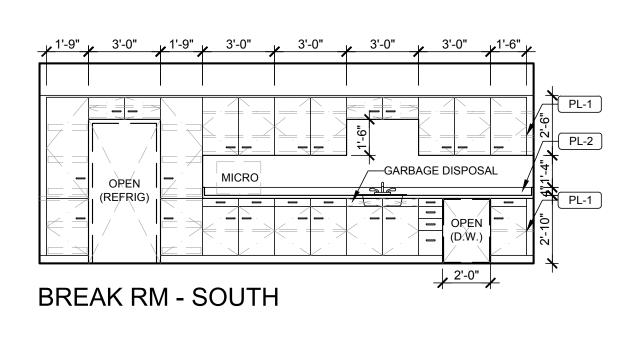




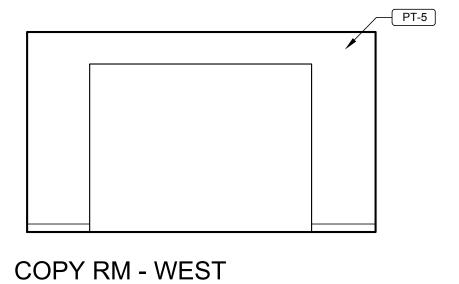


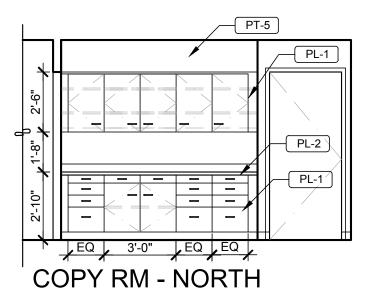


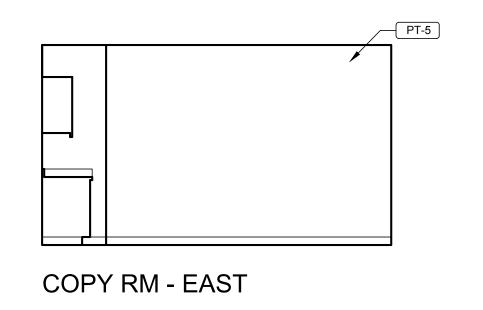


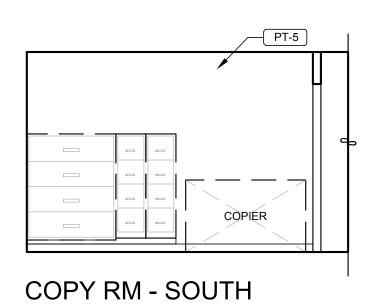












10) 120 COPY/WORK ROOM ELEVATIONS

Drawing: INTERIOR **ELEVATIONS**

Sheet No:

Job No:	16158
Date:	JULY 27, 2018
Drawn By:	
Checked By:	

SCOTT EDWARDS ARCHITECTURE LLP

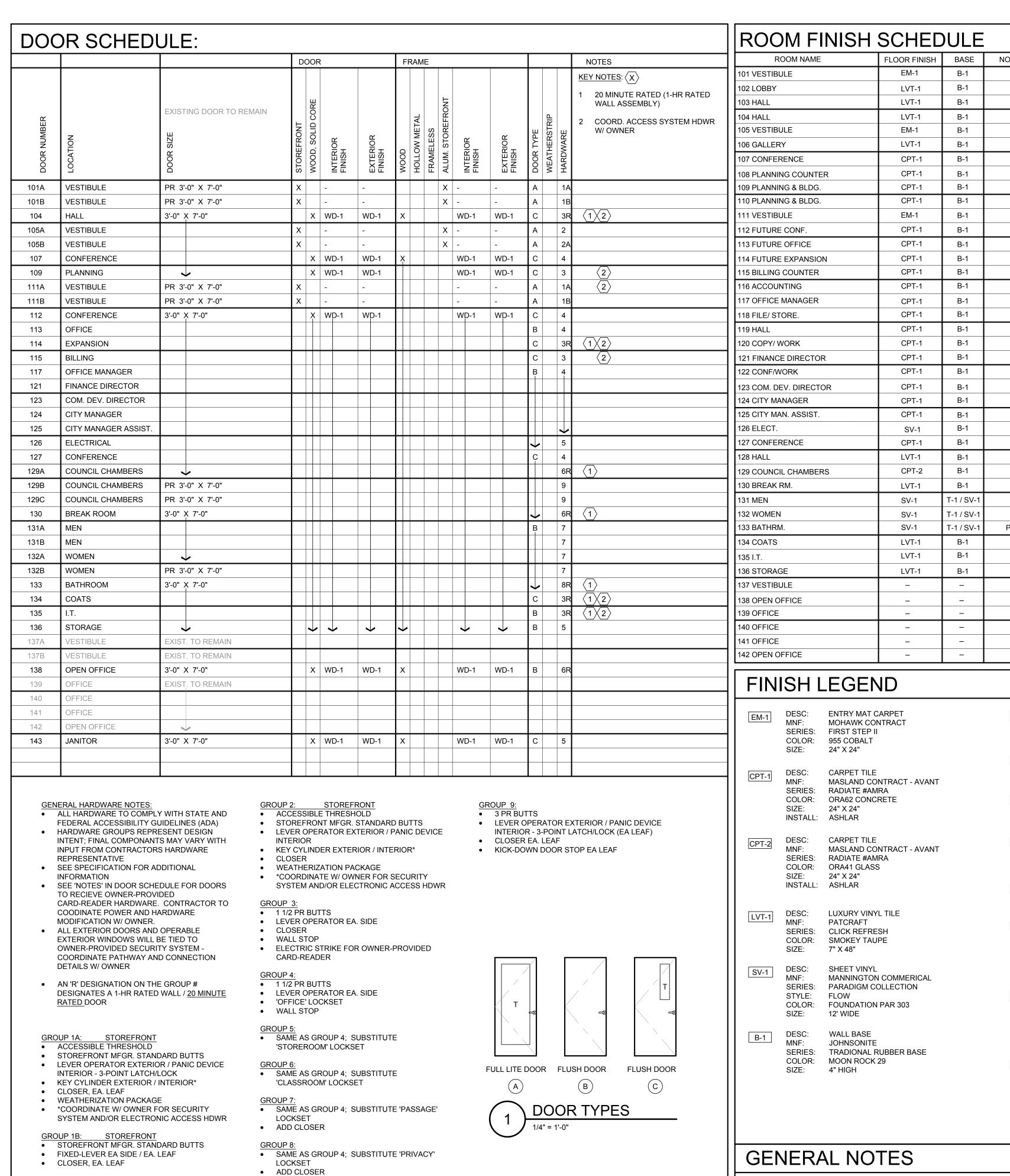
2525 E. Burnside St., Portland, OR 97214 phone:(503) 226-3617 www.seallp.com

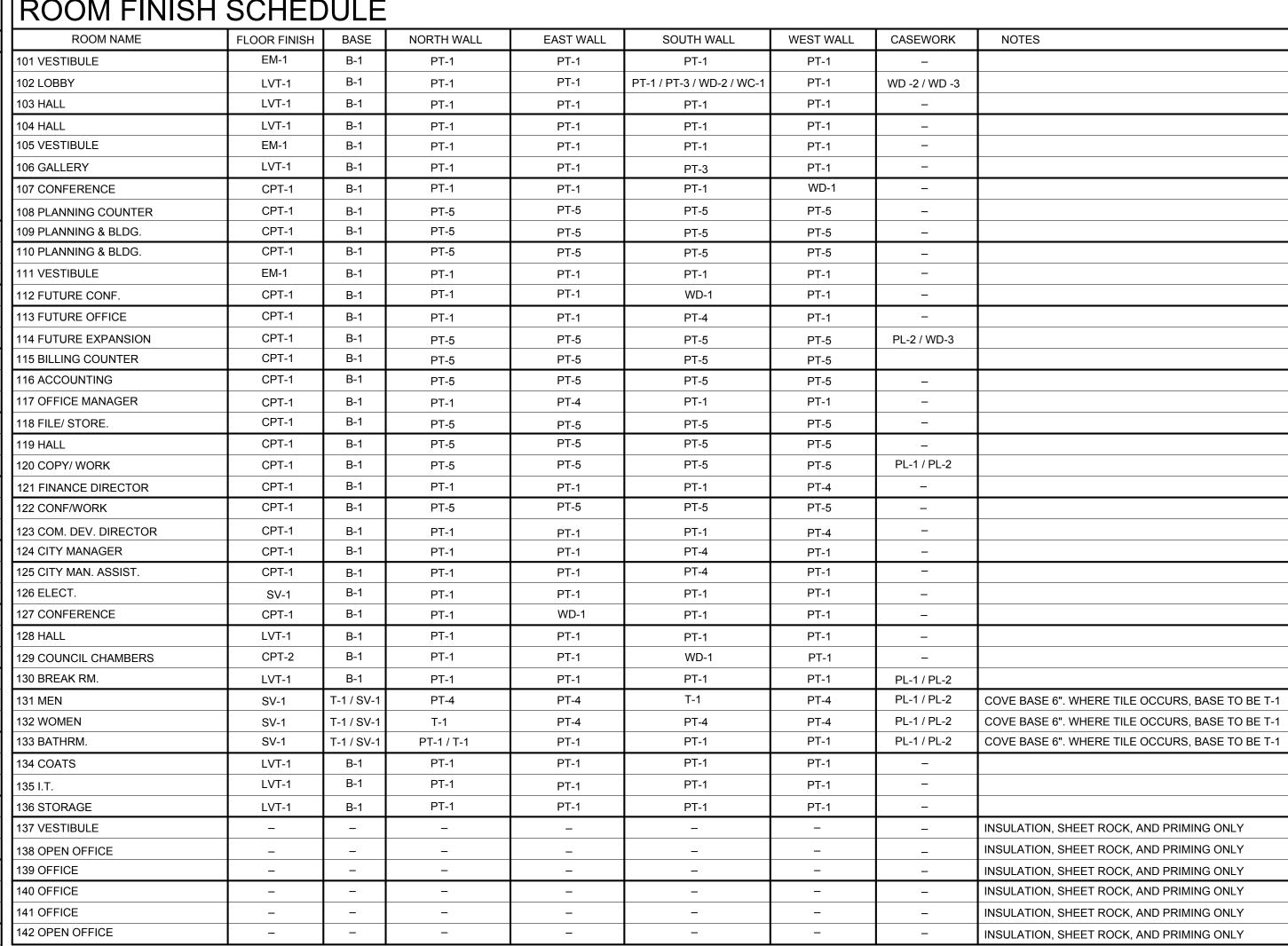
SWEET HOME

CITY HALL

SWEET HOME, OREGON 97386

3225 MAIN STREET





DESC: WALL PAINT - FIELD

DESC:

MNF:

MNF:

MNF:

DESC:

DESC:

MNF:

SERIES:

SIZE:

DESC:

MNF:

MNF:

COLOR: SW7050 USEFUL GRAY

COLOR: SW7006 EXTRA WHITE

DESC: WALL PAINT - ACCENT

COLOR: SW6215 ROCKY RIVER

DESC: WALL PAINT - ACCENT

COLOR: SW9130 EVERGREEN FOG

COLOR: SW7748 GREEN EARTH

WALL COVERING

DESC: FIBER REINFORCED PANEL

4'X8' PANELS

ARMSTRONG

PER CONTRACTOR

PER CONTRACTOR

NOTES: SUBMIT SAMPLES FOR APPROVAL

ACOUSTICAL CEILING TILE

DESIGN TEX

SERIES: CUSTOM-#33766

CONTACT: JOANNE RATANGOL

MATERIAL: NURAPRENE

ALLOWANCE: \$3,000.00

COLOR: WHITE

SERIES: OPTIMA

SIZE: 24'X48' PANELS

NOTES: SQUARE TEGULAR

COLOR: WHITE

CEILING PAINT

SHERWIN WILLIAMS

SHERWIN WILLIAMS

SHERWIN WILLIAMS

SHERWIN WILLIAMS

WALL PAINT - ACCENT

SHERWIN WILLIAMS

SCOTT EDWARDS ARCHITECTURE LLP 2525 E. Burnside St., Portland, OR 97214 phone:(503) 226-3617 www.seallp.com

SWEET HOME CITY HALL

3225 MAIN STREET SWEET HOME, OREGON 97386

MNF: LAMINART SERIES: MYSTIC WOOD 3056- VT FINISH: VELVA-TEX FINISH

DESC: PLASTIC LAMINATE- CASEWORK

PL-2

DESC: PLASTIC LAMINATE- COUNTERTOP
MNF: NEVEMAR
SERIES: COOL CHIC VA7002T
FINISH: TEXTURED

WD-1

DESC: WOOD WALL CLADDING
MNF: PIONEER MILLWORKS
SPECIES: MIXED HARDWOODS
GRADE: SETTLERS PLANK
FINISH: INTERIOR OIL
SIZE: \(\frac{3}{4}\)" X MIXED WIDTHS X RANDOM LENGTHS

WD-2

DESC: WOOD CLADDING @ RECEPTION DESK
MNF: PIONEER MILLWORKS
SPECIES: MIXED HARDWOODS
GRADE: SETTLERS PLANK

INTERIOR OIL

FINISH:

SIZE: ¼" THICK X 4" WIDTHS X RANDOM LENGTHS

DESC: SOLID WOOD @ RECEPTION COUNTER
MNF: PIONEER MILLWORKS OR EQUAL
SPECIES: MIXED HARDWOODS

GRADE: SETTLERS PLANK
FINISH: CONVERSION VARNISH. BLACK FILLER FOR HOLES
SIZE: 2" THICK SLABS PER DETAIL

DESC: CERAMIC TILE
MNF: DALTILE
SERIES: MODERN DIMENSIONS
COLOR: GARDEN SPOT
SIZE: 4"X12"
GROUT: T.B.D.

SIZE: 4"X12"

GROUT: T.B.D.

NOTES: REFER TO ELEVATIONS FOR LOCATION

- PT-1 ON ALL INTERIOR WALLS U.N.O.
 PT-2 ON ALL GYP CEILINGS U.N.O.
- 3. UNDERSIDE OF UPPER CABINETS TO BE FINISHED

Drawing:

SCHEDULES

Checked By:

Sheet No:

Job No: 16158

Date: JULY 27, 2018

Drawn By:

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