

**1 BLDG. CODE ASSESSMENT**  
 1/8" = 1'-0"  
 NORTH

Sweet Home City Hall - Code Review		Project Number: 16158	7/30/2018	S E A				
Applicable Codes:		2014 Oregon Structural Specialty Code	2014 Oregon Energy Efficiency Specialty Code					
		2014 Oregon Electrical Specialty Code	2014 Oregon Plumbing Specialty Code					
		2014 Oregon Mechanical Specialty Code	2014 Oregon Fire Code					
		2009 ICC/ANSI A117.1						
Chapter 3 - Use and Occupancy Classification								
Occupancy:	A-3 Council	B Office						
Chapter 5 - General Building Heights and Areas								
Proposed Building Area - First Floor								
Existing Building Area - First Floor	12,612 SF							
New Building Area - First Floor	0 SF							
<b>Total Building and Exterior Covered Area - First Floor</b>	<b>12,612 SF</b>							
Table 503 Allowable Building Height in Feet		Table 503 Allowable Number of Stories Above Grade Plane						
Occupancy	Type VB	Occupancy	Type VB					
A-3, B	40'-0"	A-3	1 Story					
		B	2 Stories					
Proposed Height in Feet	16'-0"	Proposed Number of Stories	1 Story					
Section 506 Building Area Modifications								
Occupancy Types: A-3, B. Const Type: V-B. Sprinklered: Yes. Multiple Occupancies: Accessory Occupancies.								
B Occupancy (Non-Separated)								
Aa =	At + [ At x If ] + [ At x Is ]	If =	[ F / P - 0.25 ] W / 30'					
Aa =	9,000 SF + [ 9,000 SF x 0.75 ] + [ 9,000 SF x 0 ]	If =	[ 468' / 468' - 0.25 ] 30' / 30'					
Aa =	15,750 SF	If =	0.75					
Proposed Area	= 11,432 SF	Is =	0					
Building Area	OK = Proposed Area ≤ Allowable Area = 11,432 SF ≤ 15,750 SF	At =	6,000 SF Occupancy A-3					
		At =	9,000 SF Occupancy B					
A-3 (Accessory Occupancies)								
Total Building Area - First Floor	12,612 SF							
Allowable Accessory Area (10%)	1,261 SF							
Proposed A-3 Accessory Area	1,180 SF							
Total Proposed Accessory Area	1,180 SF							
OK = Proposed Area ≤ Allowable Area = 1,180 SF ≤ 1,261 SF								
508.2.4 Separation of Occupancies - No separation is required between accessory occupancies and the main occupancy.								
Chapter 6 - Types of Construction								
Table 601 - Fire-Resistance Rating Requirements for Building Elements		Table 602 - Fire-Resistance Rating Requirements for Exterior Walls Based on Fire Separation Distance						
Building Element	Type V-B Rating	Fire Separation Distance = x	Type of Construction	Group A, B				
Primary Structural Frame	0 HR	X < 5'	Type V-B	1 HR				
Bearing Walls	0 HR	5' ≤ X < 10'		1 HR				
Exterior	0 HR	10' ≤ X < 30'	0 HR	0 HR				
Interior	0 HR	30' ≤ X	0 HR	0 HR				
Non-Bearing Interior Walls	0 HR							
Floor Construction	0 HR							
Roof Construction	0 HR							
Chapter 8 - Interior Finishes								
803.1.1 Interior Wall and Ceiling Finish Materials		Table 803.9 - Interior Wall and Ceiling Finish Requirements by Occupancy						
Class	Flame Spread Index	Smoke-Developed Index	Interior Exit Stairways, Ramps, and Exit Passageways	Corridors & Enclosure for Enclosed Spaces				
Class A:	0 - 25	0 - 450	Group	Rooms & Enclosed Spaces				
Class B:	26 - 75	0 - 450		A	A			
Class C:	76 - 200	0 - 450		B	C			
Chapter 10 - Means of Egress								
1004.1 - Design Occupant Load								
Occupancy	1ST FLOOR							
A-3	79 OCC							
B	211 OCC							
<b>Total</b>	<b>290 OCC</b>							
1005.3 Required Capacity Based on Occupant Load								
Stairways	3 inch X Occ Load							
Other	2 inch X Occ Load							
1006.1 Illumination Required - The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied.								
1006.2 Illumination Level - The means of egress illumination level shall not be less than 1 footcandle at the walking surface.								
Table 1014.3 - Common Path of Egress Travel								
Occupancy	Without Sprinkler System (feet)							
	≤ 30 OCC	> 30 OCC						
B	100'	75'						
A-3	75'	75'						
Table 1015.1 - Spaces with One Exit or Exit Access Doorway: Maximum Occupant Load								
Occupancy A, B, F: 49 Occupants								
Table 1016.2 - Exit Access Travel Distance:								
Occupancy A, B: 200 feet								
1018.4 - Dead Ends - Where more than one exit or exit access doorway is required, the exit access shall be arranged such that there are no dead ends in corridors more than 20 feet in length.								
Chapter 29 - Plumbing Systems								
Table 2902.1 - Minimum Number of Required Plumbing Fixtures								
Occupancy	Occupants / Sex	Water Closets		Lavatories		Bathrooms/ Showers	Drinking Fountains	
		Male	Female	Male	Female			
A-3	40 OCC	Per Table	1 per 125	1 per 65	1 per 200	-	1 per floor	
		Required	0.32 WC	0.62 WC	0.20 Lav	0.20 Lav	-	1 DF
B	106	Per Table	1 per 25 for the first 50, and 1 per 50 for the remainder exceeding 50	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	-	-	-	
		Required	3.12 WC	3.12 WC	2.33 Lav	2.33 Lav	-	-
Total Required		3 WC	4 WC	3 Lav	3 Lav	0 Bath / Shwr	1 DF	
Allowable Number of Urinals*		1 WC	2 Urinal					
PROPOSED NUMBER OF PLUMBING FIXTURES								
Total Proposed Number of Fixtures		2 WC	1 Urinal	4 WC	3 Lav	3 Lav	0 Bath / Shwr	2 DF
* Urinals may replace water closets at a ratio of 1 urinal per 2/3 water closets. Unisex Shower Room used in female fixture count.								

**S|E|A**  
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SWEET HOME CITY HALL

3225 MAIN STREET  
 SWEET HOME, OREGON 97386

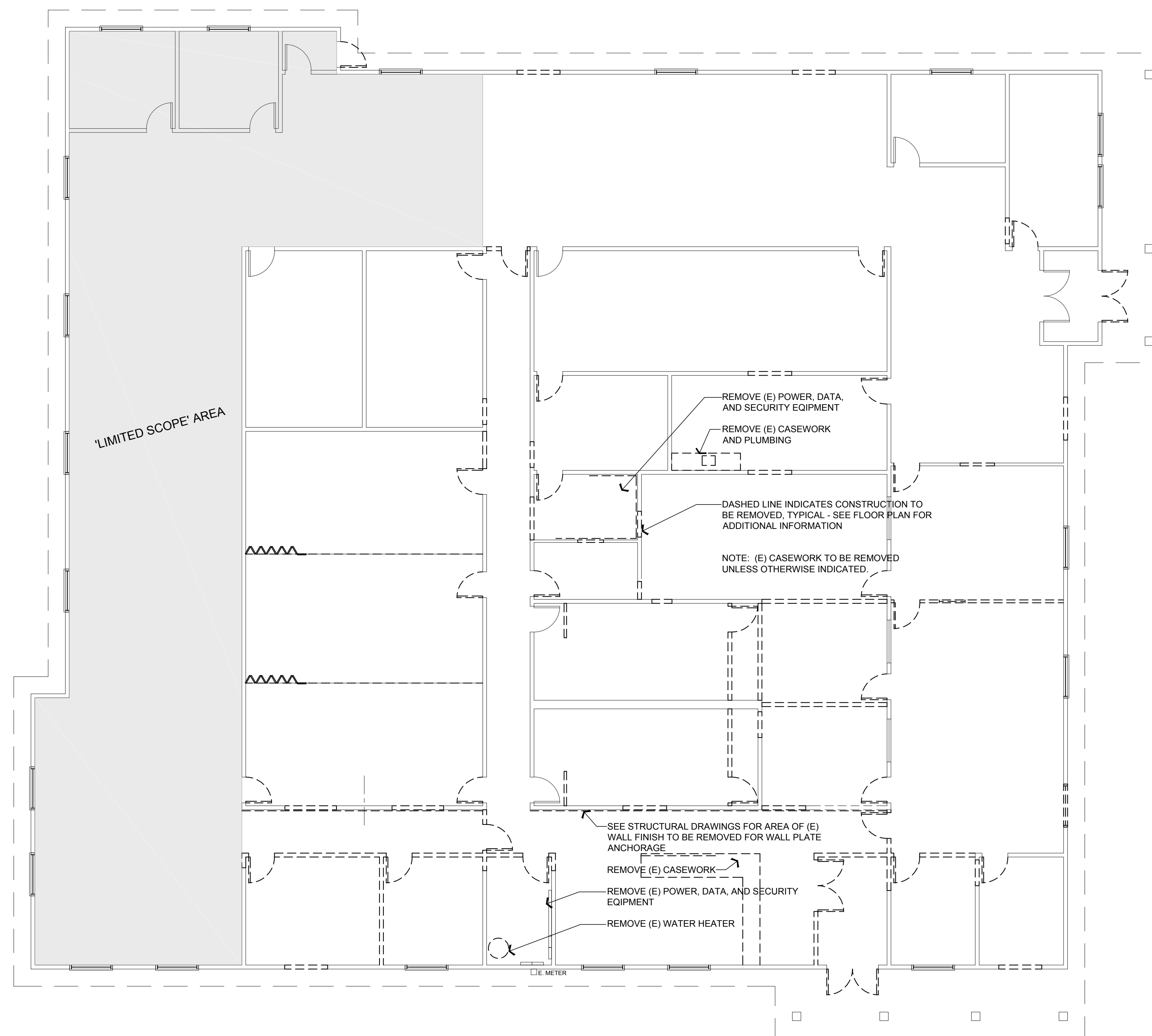
Drawing:  
 BLDG. CODE SUMMARY

Job No: 16158  
 Date: JULY 27, 2018  
 Drawn By:  
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 Sheet No:

G1.1

## SWEET HOME CITY HALL

3225 MAIN STREET  
SWEET HOME, OREGON 97386



1 DEMOLITION PLAN  
1/8" = 1'-0"



Drawing:  
DEMOLITION PLAN

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# D1.1

## SWEET HOME CITY HALL

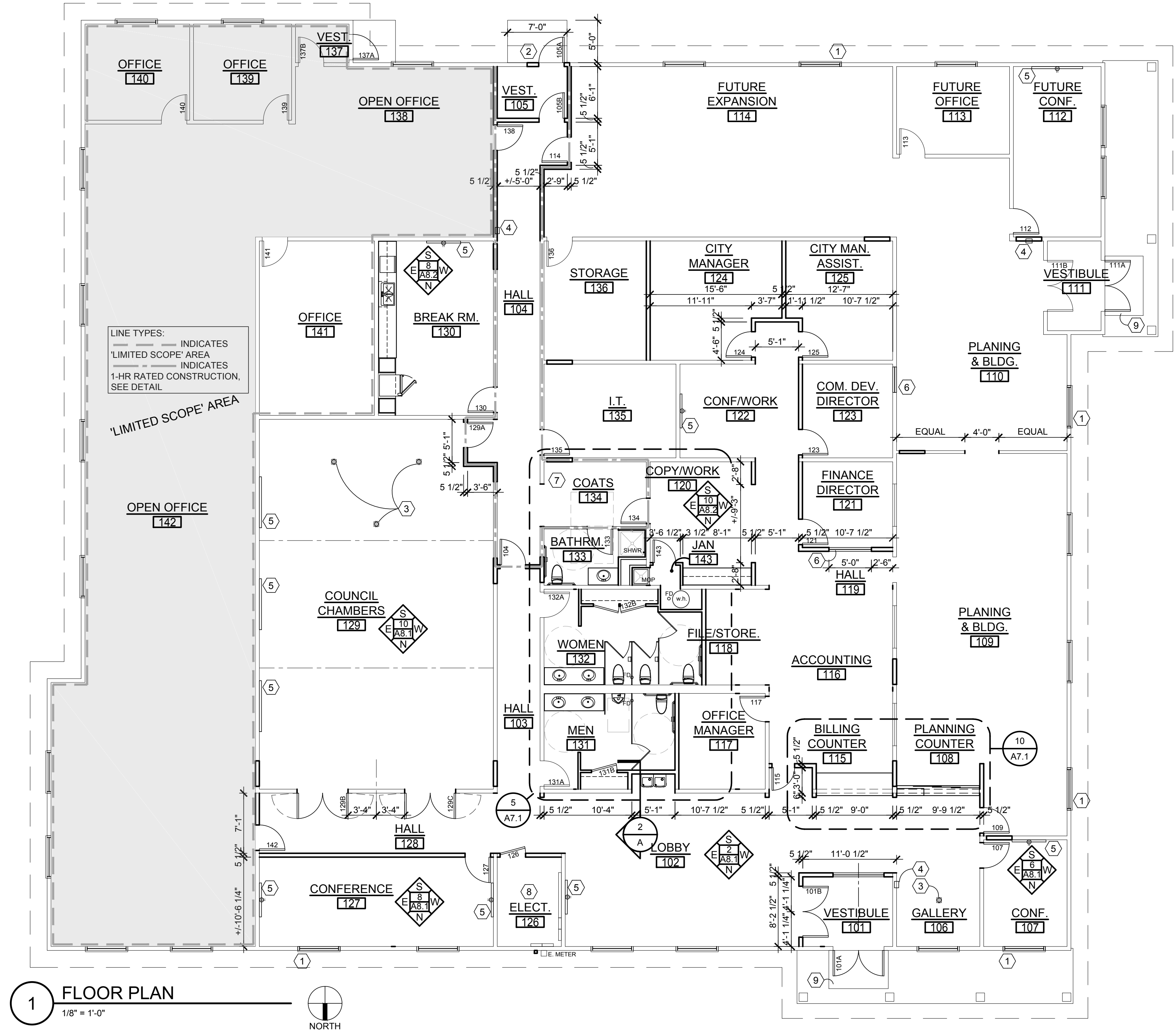
3225 MAIN STREET  
SWEET HOME, OREGON 97386

### GENERAL NOTES:

1. TYPICAL INTERIOR WALL CONSTRUCTION TO CONSIST OF 5/8" TYPE "X" GWB ON EA. SIDE OF STUDS AT 16" O.C. W/ ACOUSTICAL BATT INSULATION, UNLESS OTHERWISE INDICATED. PROVIDE MOISTURE-RESISTANT GWB AT ALL PLUMBING WALLS AND WET LOCATIONS. SUBSTITUTE TILE BACKER BOARD AT TILE LOCATIONS. EXTEND FRAMING AND INSULATION TO STRUCTURE ABOVE. EXTEND GWB 6" MINIMUM ABOVE A.C.T. OR AS REQ. FOR SUPPORT OF INSULATION.
2. PATCH AND REPAIR GWB AS REQUIRED BY EXISTING CONDITIONS AND/OR NEW WORK. UPON COMPLETION, ALL GWB SHALL BE FULLY FINISHED, PRIMED AND PAINTED UNLESS OTHERWISE INDICATED.
3. EXISTING ROOF AND CRAWL SPACE ARE ASSUMED TO BE FULLY INSULATED. MAINTAIN AND/OR REPLACE INSULATION AND/OR VAPOR BARRIER AS WARRANTED BY NEW WORK.
4. CONTRACTOR TO VERIFY CONDITION OF EXISTING FLOOR STRUCTURE AND SUBSTRATE PRIOR TO INSTALLING NEW FLOOR FINISHES. SEE SPECIFICATION FOR STANDARD PREP. REQUIREMENTS.
5. PROVIDE AND INSTALL NEW WINDOW BLINDS AT ALL WINDOWS AND INTERIOR RELITES. (PRIVATE OFFICE SIDE)

### KEYNOTES:

1. REPLACE (E) WINDOW W/ (N) OPERABLE WINDOW, TEMPERED GLASS PER BLDG. CODE REQUIREMENTS.
2. REPLACE (E) WINDOW W/ (N) EXTERIOR DOOR, CONC. STOOP AND CANOPY ABOVE. PROVIDE ACCESSIBLE PATH TO (E) SIDEWALK.
3. PROVIDE NEW FLOOR-TYPE ELECTRICAL AND DATA OUTLET.
4. FIRE EXTINGUISHER - VERIFY LOCATION WITH FIRE OFFICIAL PRIOR TO INSTALLATION.
5. WALL-MOUNT T.V. LOCATION - PROVIDE SOLID-BLOCKING, POWER AND PATHWAY FOR DATA CONNECTION. T.V. AND MOUNTING HARDWARE BY OWNER.
6. RELITE LOCATION - SAFETY GLAZING IN WOOD JAMBS TO MATCH EXISTING RELITES.
7. COAT ROD AND SHELF.
8. ELECTRICAL ROOM LAYOUT TO BE DETERMINED BY BIDDER-DESIGN ELECTRICAL DESIGNER.
9. REPLACE (E) WALK-OFF MAT - SEE FINISH PLAN



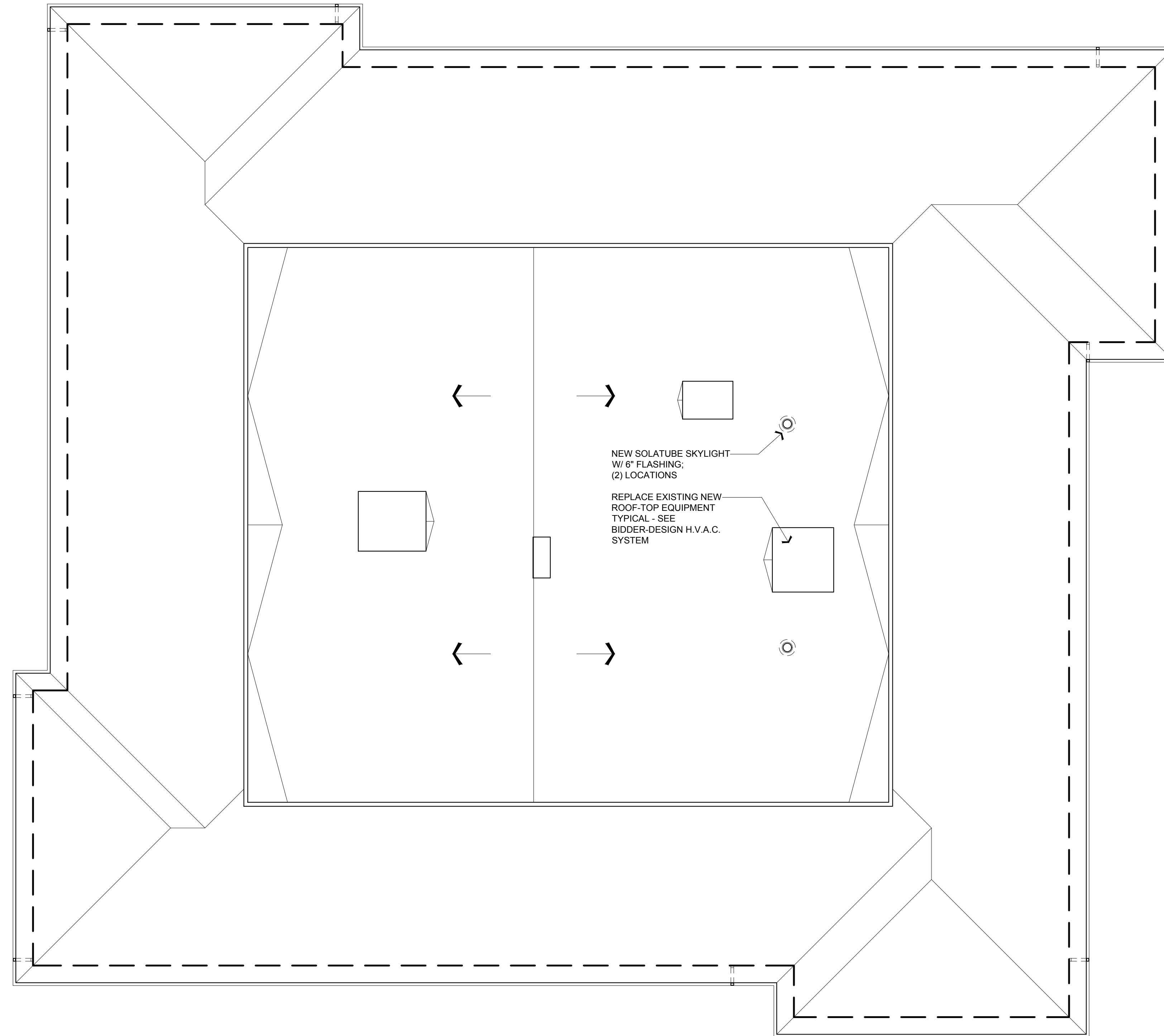
**1 FLOOR PLAN**  
1/8" = 1'-0"  
NORTH

Drawing:  
FLOOR PLAN

Job No: 16158  
Date: JULY 27, 2018  
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### GENERAL NOTES - ROOF

1. NEW SCOPE OF WORK IS GENERALLY LIMITED TO MODIFICATIONS REQUIRED BY NEW BIDDER-DESIGN MECHANICAL EQUIPMENT AND NEW SOLATUBE SKYLIGHTS.
2. CONTRACTOR SHALL REVIEW EXISTING ROOF CONDITIONS AND PROVIDE A CONDITION SUMMARY TO THE OWNER PRIOR TO BEGINNING WORK.
3. REUSE OF EXISTING ROOF CURBS IS ENCOURAGED WHEN POSSIBLE.
4. NEW ROOF OPENINGS AND/OR FRAMING MODIFICATIONS WILL BE ALLOWED, UPON REVIEW AND ACCEPTANCE OF OWNER.
5. ANY/ALL LOADS EXCEEDING EXISTING CONDITIONS AND/OR ANY/ALL MODIFICATIONS OF EXISTING BUILDING STRUCTURE SHALL BE BIDDER-DESIGN, WITH ENGINEERING AS REQUIRED.
6. UPON COMPLETION OF WORK, ROOF SHALL BE LEFT CLEAN AND DEBRIS-FREE.



1 FLOOR PLAN  
1/8" = 1'-0"



## SWEET HOME CITY HALL

3225 MAIN STREET  
SWEET HOME, OREGON 97386

Drawing:  
ROOF PLAN

Job No: 16158

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## SWEET HOME CITY HALL

3225 MAIN STREET  
SWEET HOME, OREGON 97386

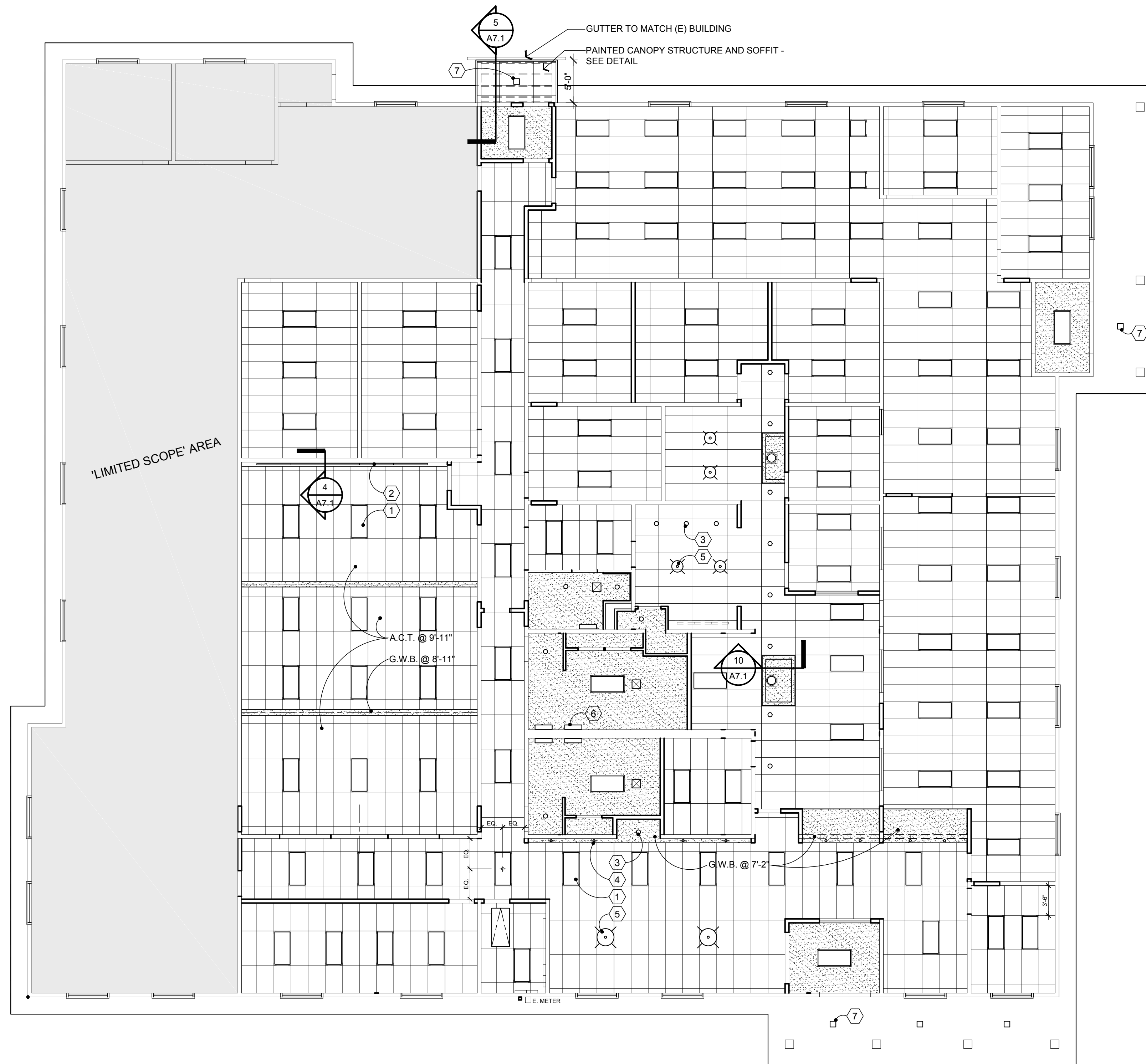
### GENERAL NOTES - REF. CLNG.

1. NEW SCOPE OF WORK PROVIDES NEW SUSPENDED ACOUSTICAL CEILING TILE (A.C.T.) AND NEW GWB CEILING FINISHES WHERE INDICATED.
2. CEILING TILE LAYOUT AND LIGHTING LAYOUT IS SCHEMATIC AND MAY BE MODIFIED BASED ON BIDDER-DESIGN LIGHTING LAYOUT.
3. CEILING DIFFUSERS WILL BE ADDED TO LAYOUT, BASED ON BIDDER-DESIGN H.V.A.C. DESIGN. LIGHTING DESIGN WILL GENERALLY TAKE PRIORITY OVER DIFFUSER LAYOUT.
4. CEILING HEIGHTS TO BE AT 8'-0" ABOVE FINISH FLOOR (A.F.F.) UNLESS OTHERWISE INDICATED.
5. SEE SPECIFICATION FOR ADDITIONAL INFORMATION, INCLUDING A.C.T. AND LIGHT FIXTURE SEISMIC RESTRAINT.
6. DIMENSIONS, WHERE INDICATED, ARE INTENDED TO LOCATE A.C.T. GRID FOR LAYOUT INDICATED.

### ① KEY NOTES - FIXTURE TYPES

FIXTURE TYPES ARE TYPICAL; SIMILAR SYMBOL = SIMILAR FIXTURE TYPE

1. 2X4 LAY-IN: SIM. TO FLUXWERX, TRANSOM SERIES
2. SLIM-LINE, LINEAR WALL-WASH FIXTURE FOR COVE INSTALLATION
3. RECESSED CAN LIGHT
4. RECESSED WALL-WASH CAN LIGHT
5. CEILING MOUNT DECORATIVE PENDANT: SIM. TO VISA LIGHTING, MODEL #CM2000, BRONZE MATTE FINISH
6. WALL-MOUNT VANITY LIGHT: SIM. TO TECH LIGHTING, SAGE 13 WALL/BATH, SATIN NICKEL FINISH
7. EXTERIOR DOWN-LIGHT, STYLE SIMILAR TO EXISTING



① REFLECTED CEILING PLAN  
1/8" = 1'-0"



Drawing:

REFLECTED  
CEILING PLAN

Job No: 16158

Date: JULY 27, 2018

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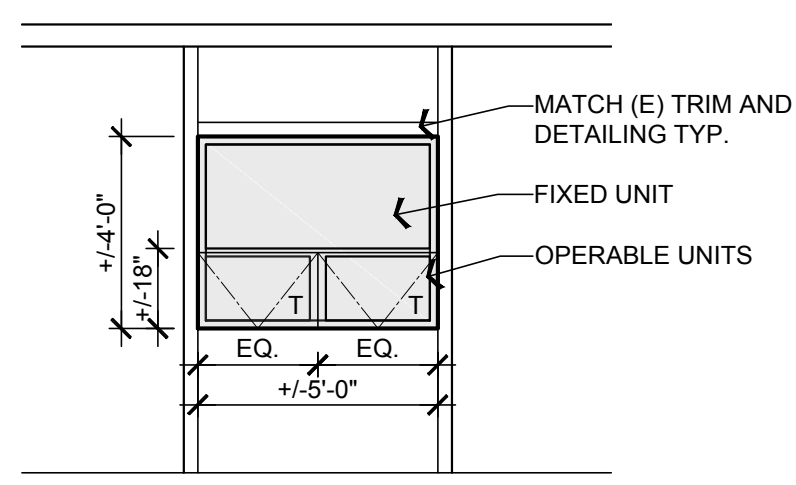
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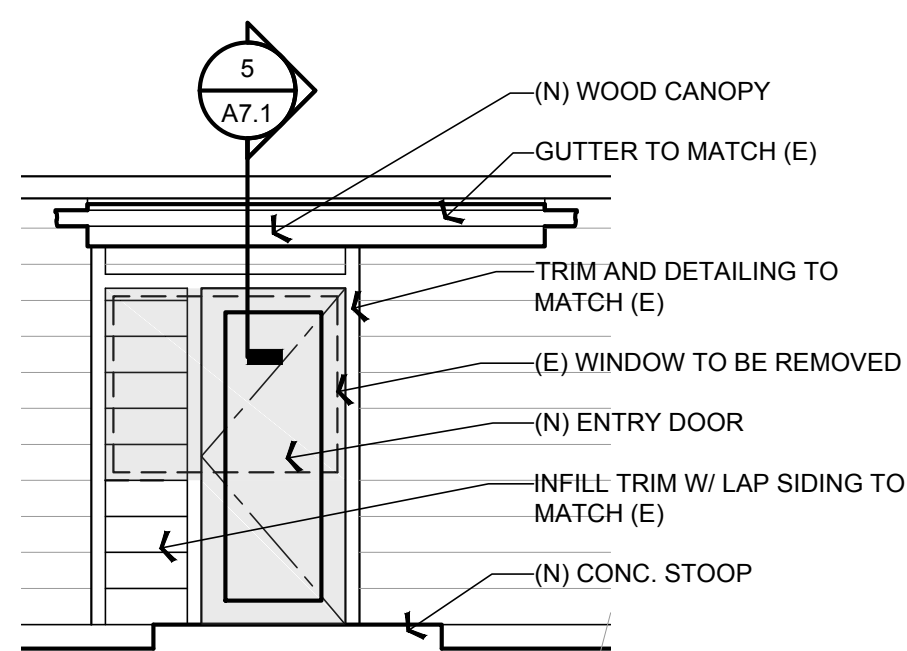
## 1 KEY NOTES - ELEVATIONS

1. REPAIR EXISTING GUTTER, WHERE JOINT HAS OPENED.
2. REPLACE (E) WINDOW WITH (N) - SEE DETAILS
3. REPAIR (E) CEDAR LAP SIDING WHERE SUN DAMAGED. MATCH (E) MATERIAL, INSTALLATION AND COURSING.



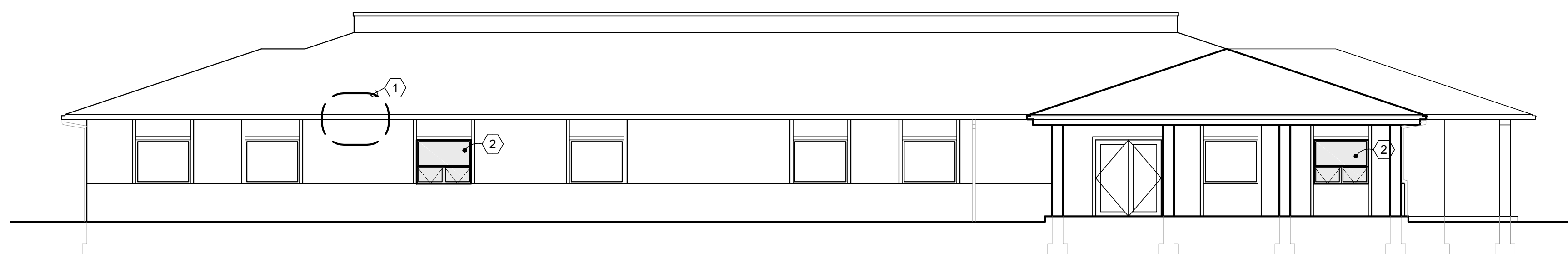
## 5 WINDOW ELEVATION

1/8" = 1'-0"



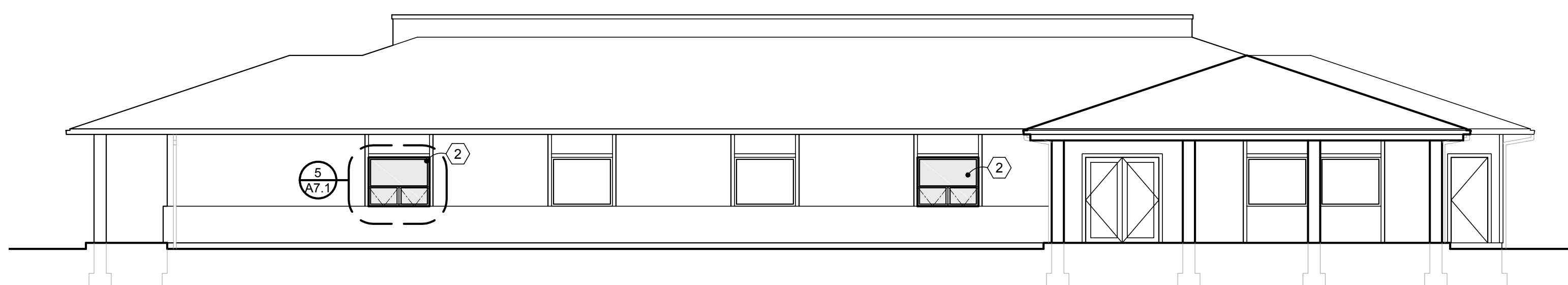
## 8 DOOR ELEVATION

1/8" = 1'-0"



## 3 NORTH ELEVATION

1/8" = 1'-0"



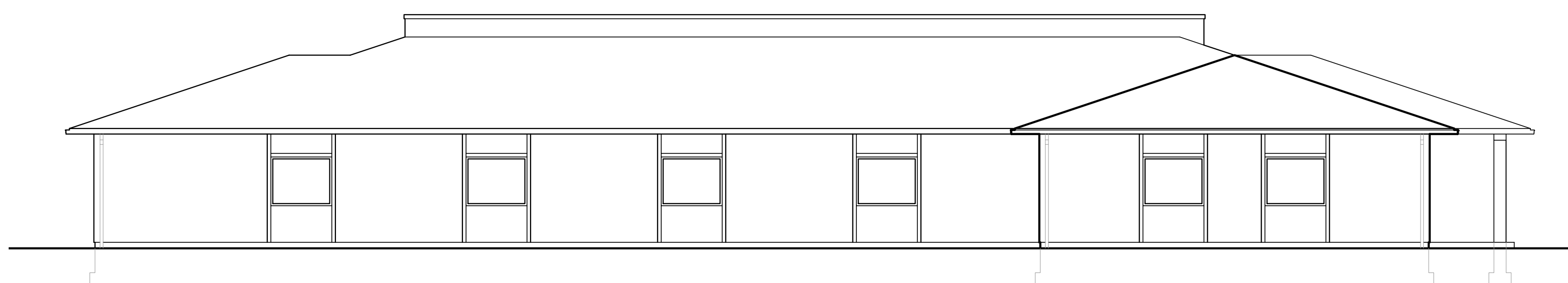
## 6 WEST ELEVATION

1/8" = 1'-0"



## 9 SOUTH ELEVATION

1/8" = 1'-0"



## 12 EAST ELEVATION

1/8" = 1'-0"

## SWEET HOME CITY HALL

3225 MAIN STREET  
SWEET HOME, OREGON 97386

Drawing:  
EXTERIOR  
ELEVATIONS

Job No: 16158

Date: JULY 27, 2018

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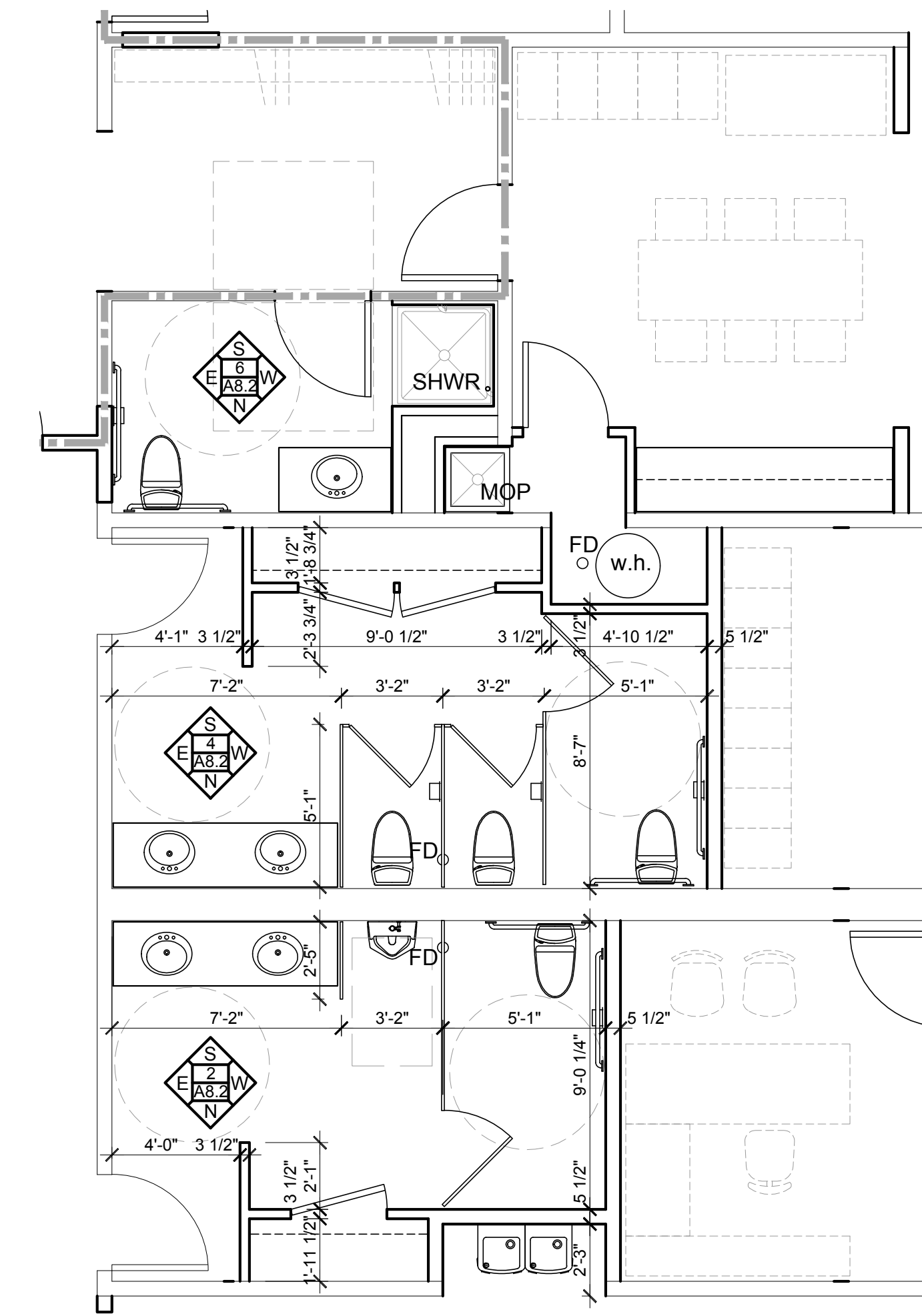
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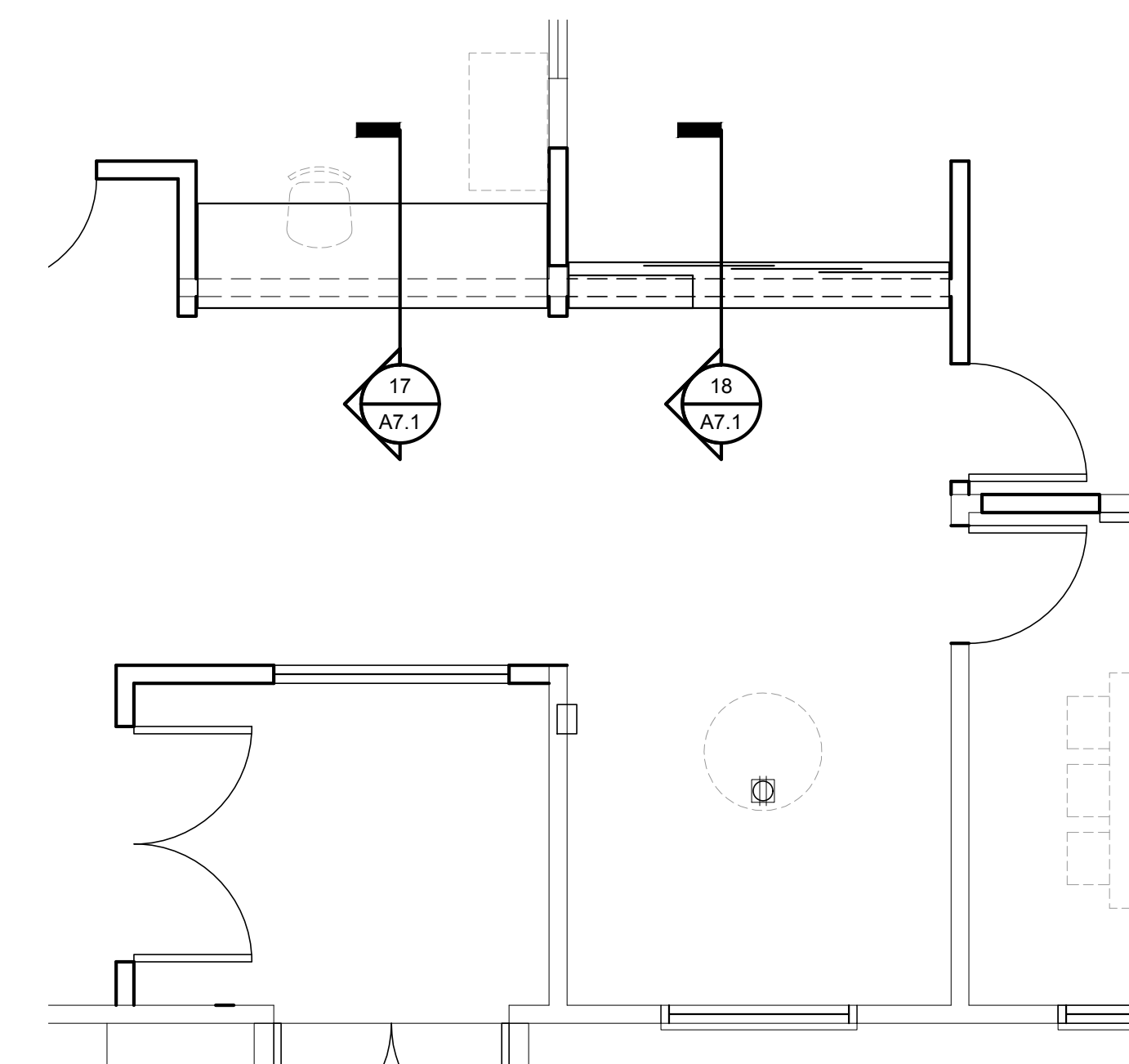
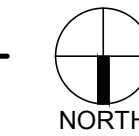


## SWEET HOME CITY HALL

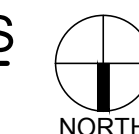
3225 MAIN STREET  
 SWEET HOME, OREGON 97386



**5 TOILET ROOM PLAN**  
 1/4" = 1'-0"



**10 TRANSACTION COUNTERS**  
 1/4" = 1'-0"



Drawing:  
**ENLARGED PLANS**

Job No: 16158

Date: JULY 27, 2018

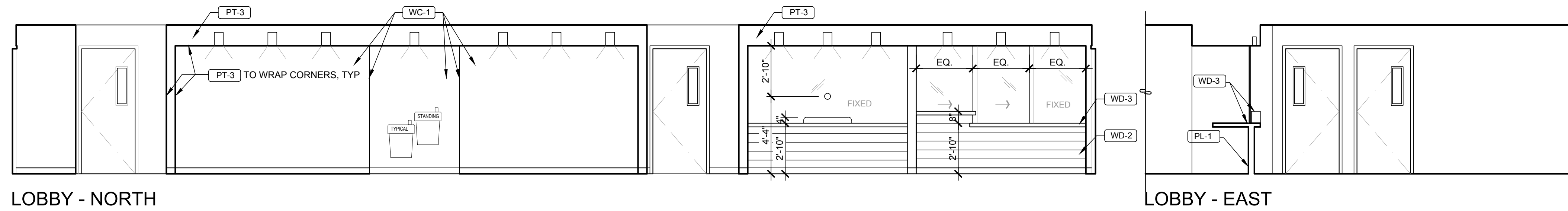
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**GENERAL NOTES**

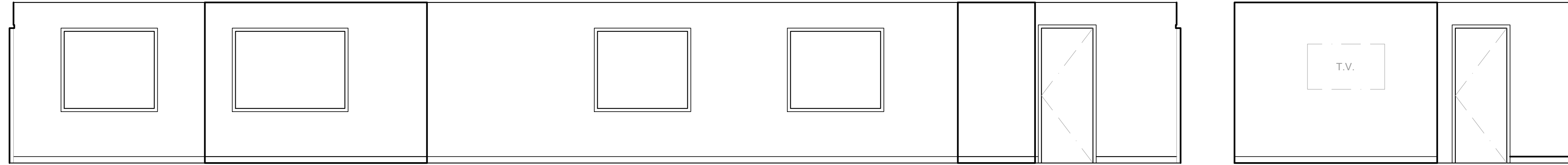
1. PT-1 TO BE ON ALL GYP WALLS UNO.
2. PT-2 TO BE ON ALL GYP CEILING UNO.
3. WHERE WALL TILE OCCURS, TO BE FULL HEIGHT.
4. NO WALL BASE WHERE FULL HEIGHT WALL TILE OCCURS.
5. NO WALL BASE WHERE FULL HEIGHT WOOD CLADDING OCCURS.
6. 8" SHEET VINYL COVE BASE AT RESTROOM WALLS.
7. PROVIDE POWER AND BLOCKING FOR TV LOCATIONS.
8. WINDOW BLINDS PER SPEC. TO BE ON ALL INTERIOR WINDOWS.
7. REFER TO SPECS FOR ADDITIONAL FINISH INFORMATION.



LOBBY - NORTH

LOBBY - EAST

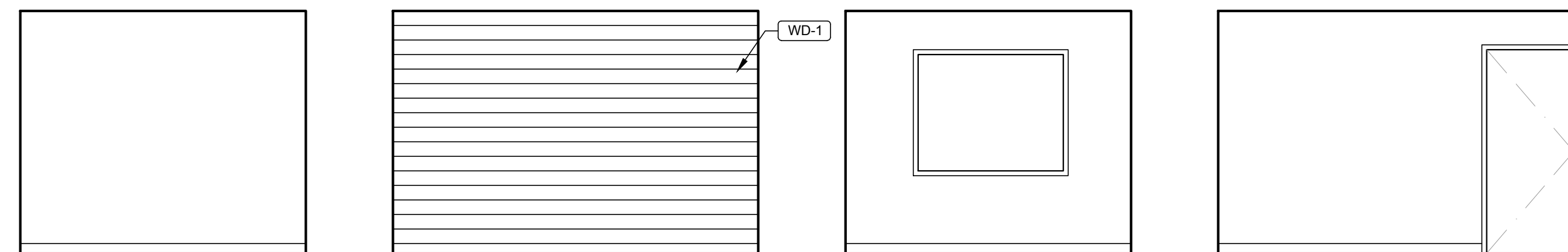
**2 102 LOBBY ELEVATIONS**  
1/4" = 1'-0"



LOBBY - SOUTH

LOBBY - WEST

**2 102 LOBBY ELEVATIONS**  
1/4" = 1'-0"



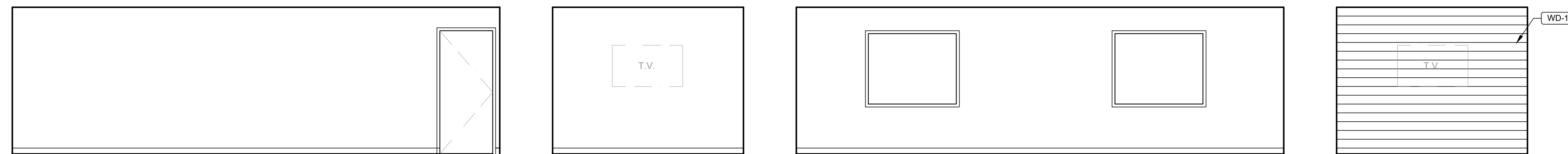
CONF - SOUTH

CONF - WEST

CONF - NORTH

CONF - EAST

**6 107 CONFERENCE ELEVATIONS**  
1/4" = 1'-0"



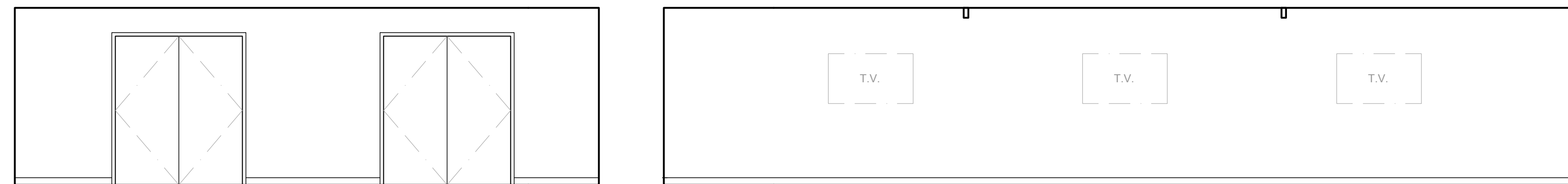
CONF - NORTH

CONF - EAST

CONF - WEST

CONF - SOUTH

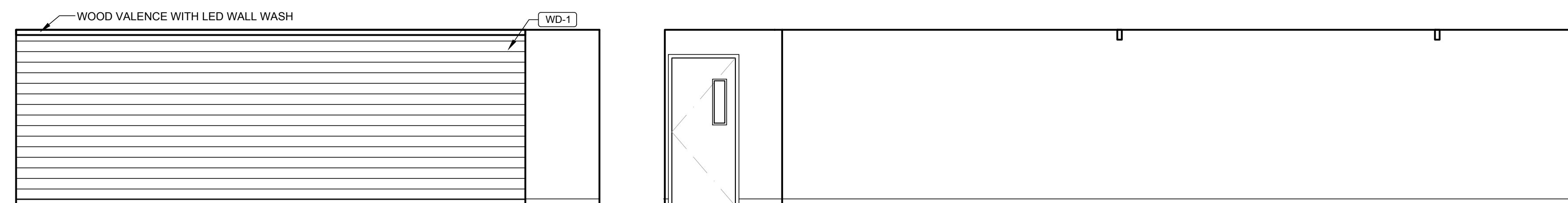
**8 127 CONFERENCE ELEVATIONS**  
1/4" = 1'-0"



COUNSEL - NORTH

COUNSEL - EAST

**10 129 COUNSEL ELEVATIONS**  
1/4" = 1'-0"



COUNSEL - SOUTH

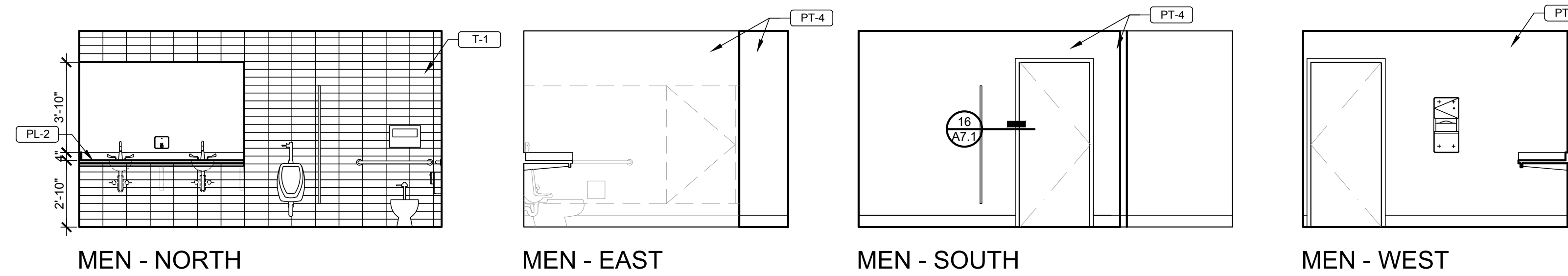
COUNSEL - WEST

**12 129 COUNSEL ELEVATIONS**  
1/4" = 1'-0"

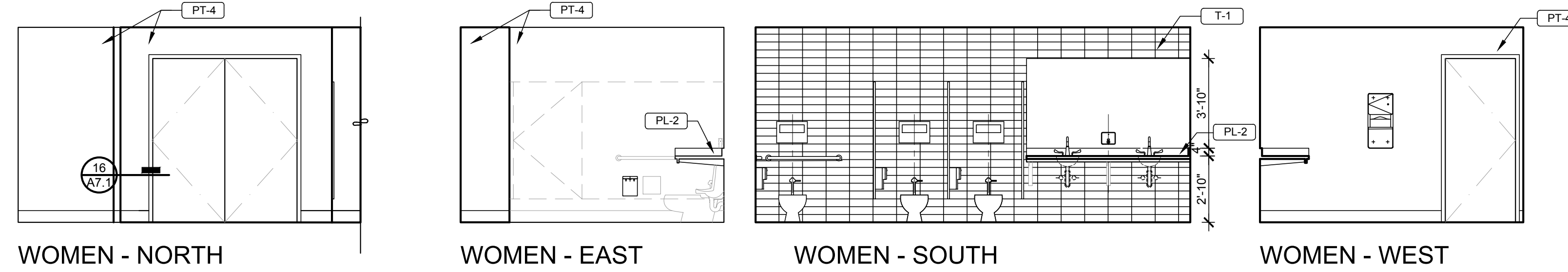
TOILET ACCESSORY SCHEDULE				
CODE	DESC	MNF	MODEL #	DIMENSIONS
GB-1	GRAB BARS	BOBRICK	B-5606 (18" 36" 42")	STAINLESS REFER TO DRAWINGS
PTD-1	PAPER TOWEL DISP / WASTE RECEPTACLE	BOBRICK	B-43699	STAINLESS 13" W X 28" H X 2.5" D
SC-1	SHOWER CURTAIN	BOBRICK	204-3	VINYL - WHITE 70" W X 72" H
SCH-1	SHOWER CURTAIN HOOK	BOBRICK	204-1	STAINLESS 1" W X 2.5" H
SCR-1	SHOWER CURTAIN ROD	BOBRICK	B-207	POLISHED ADJUSTABLE 36" - 72"
SCD-1	SEAT COVER DISPENSER	BOBRICK	B-221	STAINLESS 16" W X 11" H X 2" D
SD-1	SOAP DISPENSER - WALL	BOBRICK	B18615	STAINLESS 7" W X 6" H X 2.5" D
SND-1	SANITARY NAPKIN DISPOSAL	BOBRICK	B-270	STAINLESS 7.5" W X 10" H X 14" D
TPD-1	TOILET PAPER DISPENSER	BOBRICK	B-2888	STAINLESS 8" W X 11" H X 6" D

**GENERAL NOTES**

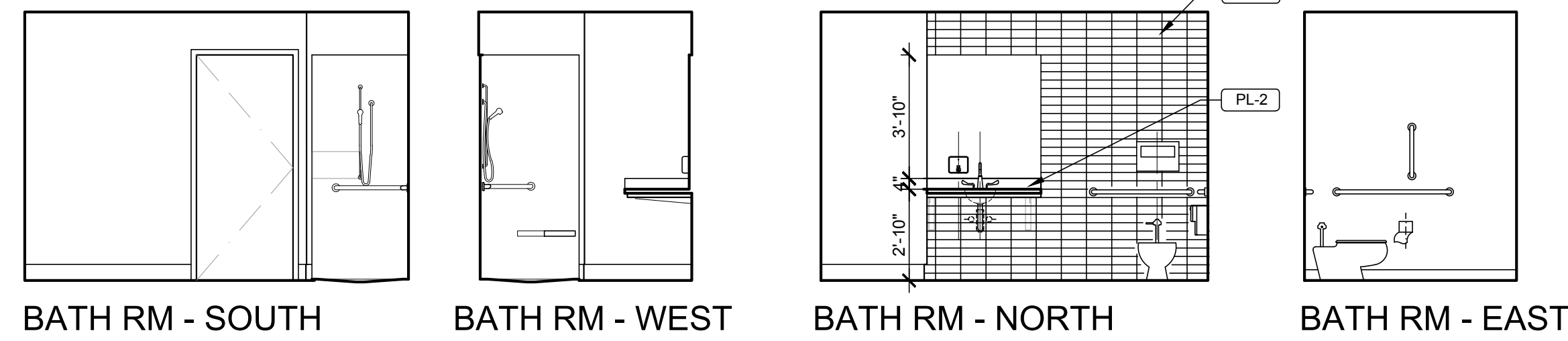
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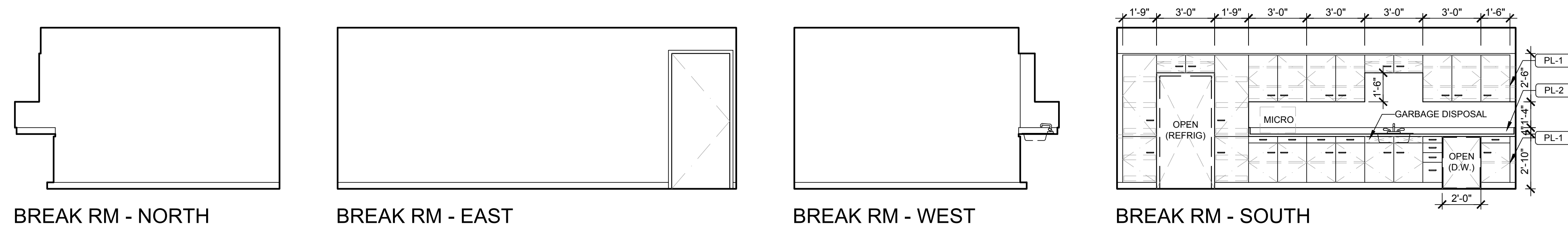
**2 131 MEN'S ROOM ELEVATIONS**  
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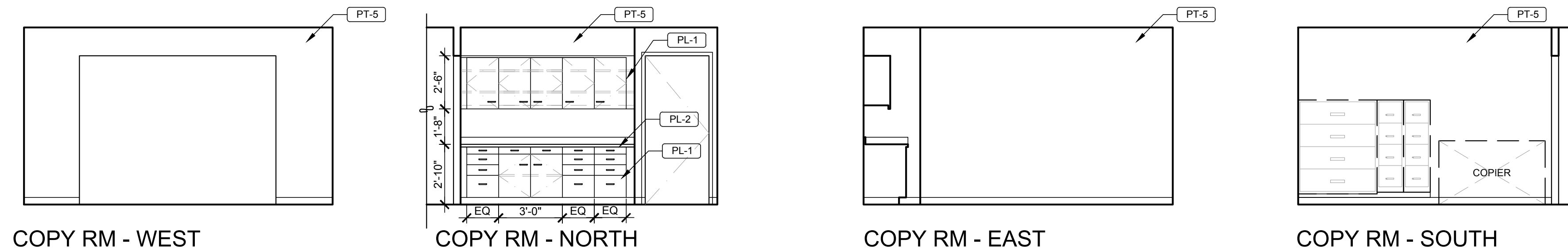
**4 132 WOMEN'S ROOM ELEVATIONS**  
1/4" = 1'-0"



**6 133 BATHROOM ELEVATIONS**  
1/4" = 1'-0"



**8 130 BREAK ROOM ELEVATIONS**  
1/4" = 1'-0"



**10 120 COPY/WORK ROOM ELEVATIONS**  
1/4" = 1'-0"

